



**CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

DATE: September 10, 2013

TO: Robert Baldwin, City Manager

VIA: Marc LaFerrier, AICP, Director *[Signature]*

FROM: Corinne Lajoie, AICP, Principal Planner, LEED GA *[Signature]*

SUBJECT: **SP-64-07MOD:** The applicant, Bridge Development Partners, LLC., on behalf of the property owner Bridge Port 95 LLC., is requesting to modification to a previously approved site plan for property located at 2650 SW 36 Street.

REQUEST

Modifications to a previously approved site plan for the construction of office/warehouse buildings.

PROPERTY INFORMATION

EXISTING ZONING: Industrial, Research, Office, Marine – Airport Approach (IROM-AA)

LAND USE DESIGNATION: Industrial

The site plan was approved January 8, 2008 and extended for 2 years on January 27, 2009, on March 9, 2011, and again on February 26, 2013 for 1 year. The site plan includes a pervious area waiver and special exception request to allow distribution. The applicant is requesting to modify the site plan by reducing the building square footage by approximately 10,000 square feet, thereby reducing parking and slightly increasing pervious area. Building elevations are also being modified.

Since the time of the original approval, the previous property owner has been working with the Broward County Pollution Prevention, Remediation and Air Quality Division regarding the cleanup efforts of the site.

The site plan modification was reviewed by the Fire Marshal, Public Services, the City's landscape consultant and the Planning Division as well as Broward County Aviation Department. The following outstanding comments remain, which are identified below:

1. Sheet SP-1 Hydrant locations do not match locations of other sheets (PE-1, PM-1 & FP-1). Please correct (Fire Marshal).
2. Must meet the conditions identified by Broward County Aviation Department in their letter dated August 2, 2013.

CITY COMMISSION PREVIOUS ACTION

On January 8, 2008 the City Commission approved the site plan and pervious area waiver with conditions noted in Resolution No. 2008-002; the special exception request for

distribution, Resolution No. 2008-001; and the second reading of the Lakeview Industrial Park Plat, Ordinance No. 2008-002.

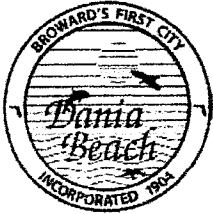
On January 27, 2009 the City Commission granted a 2 year extension of the site plan and special exception.

On March 9, 2011 the City Commission granted a 2-year extension to the site plan and special exception.

On February 26, 2013 the City Commission granted a 1-year extension to the site plan and special exception.

STAFF RECOMMENDATION

Approval, provided the remaining staff comments are addressed prior to issuance of a building permit.



City of Dania Beach, Florida
Department of Community Development
Planning and Zoning Division
{954} 924-6805 X3643
(954) 922-2687 Fax

Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance

Other: _____ (SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 2600 SW 36th Street, Dania Beach, FL 33312

Lot(s): n/a Block: n/a Subdivision: n/a

Recorded Plat Name: Lakeview Industrial Park Plat PB 178, PG 64B

Folio Number: 5042-29-54-0010 Legal Description: See Survey

Applicant/Consultant/Legal Representative (circle one) Bridge Development Partners, LLC

Address of Applicant: 350 W Hubbard Street, Suite 430, Chicago, IL 60654

Business Telephone: 312-683-7230 Home: n/a Fax: 855-834-2502

E-mail address: n/a

Name of Property Owner: Bridge Port 95 LLL, c/o Bridge Development Partners, LLC

Address of Property Owner: 350 W Hubbard Street, Suite 430, Chicago, IL 60654

Business Telephone: 312-683-7230 Home: n/a Fax: 855-834-2502

Explanation of Request: Modification to the existing Lakeview Industrial Park Site Plan

*For Plats please provide proposed Plat Name for Variances please attach **Criteria Statement** as per Section 625.40 of the Land Development Code.*

Prop. Net Acreage: 14.934 Gross Acreage: 15.49 Prop. Square Footage: 650,525 SF

Existing Use: Industrial Proposed Use: Industrial

Is property owned individually, by a corporation, association, or a joint venture? Corporation

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize _____ (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: [Signature]
(Owner / Agent signature*)
Contract Purchaser, By Steve Poulos

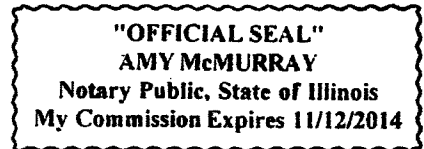
BEFORE ME THIS 3RD DAY OF June, 2013

By:

Amy McMurray
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary Amy McMurray
(Signature of Notary Public – State of IL)



Personally known or Produced Identification _____

Type of identification produced: _____ or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

**ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF
BEFORE PROCESSING OCCURS.**



AVIATION DEPARTMENT - Fort Lauderdale-Hollywood International Airport
2200 S.W. 45 Street, Suite 101 • Dania Beach, Florida 33312 • 954-359-6100

August 2, 2013

Marc LaFerrier, AICP
City of Dania Beach
100 West Dania Beach Blvd
Dania Beach, FL 33004

RE: Bridge Point Port 95, Dania Beach, FL, Broward County Aviation Department (BCAD) Review

Dear Mr. LaFerrier:

The Broward County Aviation Department (BCAD) has reviewed the proposed Bridge Point Port 95 development, located directly west of Fort Lauderdale-Hollywood International Airport (FLL). Since the proposed project is within 20,000 feet of FLL, its development and operation is subject to Federal Aviation Regulation (FAR) Part 77, and Chapter 333 Florida Statutes and the Broward County Land Development Code. These standards seek to ensure that any proposed construction, use of high lift equipment, such as cranes, or other potential hazards will not negatively impact the safe and efficient use of the airport and surrounding airspace. Taking into consideration the proximity of this project to FLL, BCAD is providing the following comments regarding the proposed development:

- Based on the location of the proposed project, FAR Part 77, Subpart B and Section 5-182(n)(2) of the Broward County Land Development Code, require the applicant to obtain a "Determination of No Hazard to Air Navigation" from the Federal Aviation Administration (FAA). The applicant has previously obtained a favorable determination for all critical building points and temporary construction cranes (see attached Aeronautical Studies 2012-ASO-9816-OE and 2012-ASO-9826-OE, dated 11/1/2012).
- The applicant may also need to obtain "airspace obstruction permits" from the Florida Department of Transportation (FDOT). This documentation is necessary to determine if the project will adversely affect public health or safety. If required, these permits must be obtained prior to the commencement of any construction. The following web address can be used to acquire additional information pertaining to the FAA and FDOT airspace obstruction review and permitting process: <http://www.dot.state.fl.us/aviation/obstructions.shtm>.
- No building, structure or vegetation on the site may exceed forty nine (49) feet above Mean Sea Level (MSL) based on North American Vertical Datum 1988 (NAVD '88), as shown on the site plan and architectural plans, unless submitted to BCAD for additional review. At this location, a structure exceeding this height would impact critical airspace surfaces, some of which are not monitored by the FAA or FDOT, but are of critical safety importance to operations at FLL.
- Based on an airspace penetration review prepared by Landrum & Brown (Airport Planning Consultants), the temporary crane penetrates several airspace surfaces. This obstacle penetrates the (i) 62.5:1 One Engine Inoperable (OEI) identification splay by 59', (ii) the Part 77 50:1 surface by 52' and most

importantly the (iii) 40:1 Terminal Instrument Procedures (TERPS) departure surface by 33', which are critical surfaces. The above cited determinations from the FAA (dated 11/1/2012) state that the penetrations of the airspace surfaces is not a hazard to air navigation since it is a temporary structure (even though the crane will penetrate TERPS). It appears that the FAA will allow modified departure climb gradients and increase the surface slope of the TERPS surface to accommodate this temporary crane. The required climb gradient for aircraft to clear the proposed 110' MSL crane located 2,842' west of the arrival end of Runway 10L at FLL is 293 ft./NM. It is critical that the FLL Operations Manager, John Pokryfke, be notified 72 hours prior to the crane going up. John can be reached at 954-359-1214 (office), or 954-336-2734 (mobile). Additionally, it is critical that the crane operator follow the marking/lighting requirements as well as lowering instructions issued by the FAA determination. Finally, if possible, we request that the crane height be modified to not penetrate the airspace surfaces.

- The proposed development must not generate light, glare, smoke or other emissions that could be disorienting to pilots operating in the vicinity of the airfield.
- The proposed development must not attract wildlife that would be a potential safety hazard to aircraft operations.

We request that the above conditions be included in any development approval issued by the City of Dania Beach.

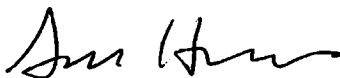
This review by BCAD is based on the Site Plan SP-1 dated May, 2013, prepared by Peter R. Gallo, P.E., and architectural plans A3.10 and A3.00, dated July 1, 2013, prepared by RLC Architects. If the proposed plans are revised substantially from those submitted for this review, BCAD requests that the City of Dania Beach submit the revised development plans to BCAD for an additional review.

It should be noted that the Site Plan SP-1 currently shows a driveway on the east side of the property accessing SW 25th Avenue. The upper portion of SW 25th Avenue connecting to SW 36th Street/Collins Road is a private road located in unincorporated Broward County. This private road is located on land that was acquired by the County using airport enterprise funds. At this time, BCAD is exploring possibilities for future use of this area. Therefore, BCAD is not willing to remove its fence along SW 25th Avenue, and does not intend to allow driveway access to SW 25th Avenue.

This review also serves to advise the applicant of potential aircraft over-flight and noise impacts on this property due to its proximity to the Airport. Further information regarding the current and potential impacts of airport operations on the subject property may be obtained from the Broward County Aviation Department, Airport Development, Planning Division. The applicant should note that the project is not eligible for federal funding to mitigate aircraft noise.

Please do not hesitate to contact me at 954.359.6258 if you have questions or require additional information.

Sincerely,



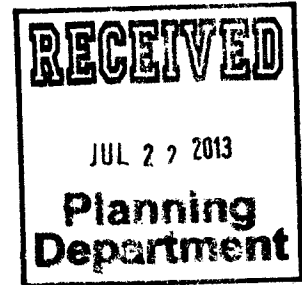
Scarlet R. Hammons, AICP
Principal Planner

DB/dc

cc:

Peter Gallo, Landplan Engineering Group, Inc.
Michael P. Pacitto, Acting Director of Airport Planning

June 26, 2013
Updated July 17, 2013



BRIDGE POINT at PORT 95 TENANT SIGNAGE CRITERIA

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Introduction
Project Identification Monuments Sign
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INTRODUCTION

The developer/owner of Bridge Point at Port 95 has sought to develop a project that exemplifies the best in environmental awareness throughout this development. This necessitates criteria to each tenant to ensure that the highest standards of excellence will be carried out in the design of each individual tenant space.

The need for each space to be advertised or identified is recognized and provided for within these criteria. Adherence to the following guidelines will allow an appropriate level of individual identification while presenting a consistent overall sense of place.

Each tenant is responsible for the approval of any signage on that site by Bridge Point at Port 95 prior to submission to the City of Dania Beach for a sign permit and prior to any fabrication or installation of any signage elements. The cost of any fabrication and installation is the responsibility of each tenant.

All sign construction is to be completed, once approved by Bridge Point at Port 95, in compliance with these criteria. All signs on any site shall be subject to the provisions of these criteria. Any signs not specifically covered within these criteria shall be submitted to the developer for approval. The sole judge of the acceptability of any submission shall be the developer/owner and his architect or planner.

Approval by Bridge Point at Port 95 in no way relieves the sign contractor or site owner or tenant from the responsibility of obtaining a valid City of Dania Beach Building and Zoning sign permit acquired through the standard City of Dania Beach procedures prior to actually beginning any fabrication of signage. A copy of the approved permit must be submitted to Bridge Point at Port 95 prior to the commencement of any work on site.

The developer/owner of Bridge Point at Port 95 may from time to time, at their sole discretion, modify or change these guidelines in order to reflect changes at the development. The developer/owner shall be exempt from these guidelines in pursuing the best interests of Bridge Point at Port 95. A copy of such changes will be provided to the City of Dania Beach for review and approval.

I. PROJECT IDENTIFICATION MONUMENTS SIGN:

A. PROJECT IDENTITY SIGN

1. One freestanding building identity sign (See Exhibit E-1) will be located along Collins Road near the middle of our street frontage (See Exhibit E-2 for location).
2. Sign to be illuminated by ground mounted flood lights (typ. each side) with no internal illumination
3. The monument sign will contain an area for project description/logo detailed by Bridge Point at Port 95 (See Exhibit E-1)
4. The monument sign will contain the postal address range of the buildings in a standard type face detailed by Bridge Point at Port 95 (See Exhibit E-1)
5. The monument sign will contain the street name in a standard type face detailed by Bridge Point at Port 95 (See Exhibit E-1)
6. Sign must be permitted by the General Contractors sign fabricator through the normal City of Dania Beach sign code procedure prior to fabrication and installation, and a copy of the sign permit must be given to Bridge Point at Port 95 before installation, along with a copy of sign manufacturers permit shop drawings.
7. See Section IV of this document for additional information, requirements, and procedures.

II. BUILDING TENANT SIGNAGE:

A. PRIMARY IDENTITY SIGN

1. Each multi-tenant industrial warehouse type of building will be allowed a primary User/Tenant ID sign on each building elevation facing a street consisting of the company name and corporate logo only (Sign Type A), located in a designated sign area of the specific building where the User/Tenant is utilizing space. The User/Tenant's sign must be located only within the architectural area as designated in these criteria. (See Exhibits A-1, A-2, A-3 & A-4)
2. All signage shall be surface mounted and shall be located on building entrance features. (See Exhibit A-1 & A-2) The size of the allowed Tenant ID sign (Sign Type A) will be determined by the percentage of space the Tenant leases of the overall development in proportion to the total sign area allowed under the City of Dania Beach signage code. In no instance shall the total sign area exceed that allowed under the City of Dania Beach signage code.
3. No sign shall exceed 4'-0" in overall height (see Exhibit A-1 & A-2) and the exact location for any signs must be approved by Bridge Point at Port 95 prior to any fabrication or installation of signs.
4. Tenants with corporate brand identities that include a logo, which is substantially, larger in proportion than the accompanying text may submit their sign layout for consideration of a variance to Bridge Point at Port 95. Variances may or may not be granted after review on an individual basis by Bridge Point at Port 95. Decisions by Bridge Point at Port 95 are final.
5. Each tenant with a single street frontage will be allowed one sign type A.
6. Should a special circumstance or situation arise where a tenant has a question on how to best display his sign or identity, the developer at his sole discretion may approve a variance to this criteria. Such variances will be reviewed by special submission to the developer and are handled on a one by one basis only. Granting of a variance in no way will set a precedent for other users. Granting a variance to these criteria in no way releases the tenant from full compliance with the standard City of Dania Beach signage code.

7. Methods of fabrication for Sign Type A are shown in Exhibit B. (It consists of four possible ways to manufacture illuminated or non-illuminated signs as the primary User/Tenant ID.)
 - a. Non-illuminated aluminum or sintra (PVC Board) 1" thick letter, pin mounted on spacers 1/2" off the face of the building.
 - b. Non-illuminated reverse channel type letters.
 - c. Illuminated channel letters.
 - d. Illuminated reverse channel letters.

All details shown in Exhibit B must be followed by the sign fabricator. No exceptions or substitutions will be allowed. Open face channel letters are not permitted.

8. Each Tenant space shall have a postal ID number at the front entrance designed, fabricated and installed by the owner. It shall not be removed or relocated. Numerals shall be a minimum of 6" in height.
9. In addition to Sign Type A, each User/Tenant will be allowed one Sign Type B which consists of a maximum area of 4sf or 10% of the total window area (most restrictive governs) on the front entry glass. The sign may be applied to the glass by silk-screening printing or by computer generated vinyl die cut letters. The corporate logo, corporate name, business hours, etc. may appear in this sign. (Exhibit A-3 & A-4)
10. In addition to the Sign Type A & B, the Tenant will be allowed one Sign Type C located on one rear "man door" at the loading dock area. The sign shall be located next to the door in the area 1'-0"H x 1'-0"W, 5'-6" from top of sign to floor. This sign must be made from computer generated vinyl die cut letters on a 1/8" aluminum back the color if background is to match that of the building. (Exhibit C-1)
11. A Tenant may identify his loading dock doors with a 9" high, 1/2" thick aluminum cut postal address numbers (Sign Type D), painted black (Exhibit D-1). No other signs allowed in this area except at man door.
12. All signs must be permitted by the Tenants' sign fabricator through the normal City of Dania Beach sign code procedure prior to fabrication and installation, and a copy of the sign permit must be given to Bridge Point at Port 95 before installation, along with a copy of sign manufacturers permit shop drawings.

B. ADVERTISING SIGNS

1. Any signs located within any building on the site and situated so as to be visible from the roadway shall be limited to two square feet in total area of sign only one such sign shall be permitted.
2. Paper, cardboard or plastic signs in windows are prohibited.
3. Banners of any type, pennants, flags, streamers, etc are prohibited.
4. Movable temporary signs regardless of size are prohibited.

C. GENERAL NOTES

1. A User/Tenant at Bridge Point at Port 95 shall be defined as any occupant of a building/facility, located within the Bridge Point at Port 95, whether Owner occupied or Tenant Leased.
2. All building tenant signage shall be designed in accordance with City of Dania Beach regulations and the Bridge Point at Port 95 Signage Criteria.
3. No fluorescent light box type signs allowed.
4. Owner must approve all signs (permanent and/or temporary) for User/Tenant space prior to fabrication and installation. Final location of any sign will be determined solely with Bridge Point at Port 95 approval.
5. All general notes on fabrication, materials, procedure and specific prohibitions listed elsewhere within these criteria all apply.
6. Tenant to supply Camera Ready Artwork for any logos to be used, including color specifications and designations using the PMS-Pantone Matching System. All colors to be approved by Bridge Point at Port 95 and/or his design consultant prior to any fabrication. Actual sample colors 6"x 6" of each color shall be presented along with the sign drawings submitted.
7. Electricity for signs and hook-up for electrical signs is at sole cost of Tenant.

III. REAL ESTATE SIGNS

A. GENERAL NOTES AND PROCEDURES

1. Real estate signs shall be non-permanent signs pertaining to the sale, lease, rental or availability of real estate. Such signs may include the building name and address, real estate broker name and contact phone number, and amenities located on the site such as available square feet, loading dock information, etc.
2. The sign must be located on the pertinent site or building no closer than 5'-0" from the R.O.W. and set back a minimum of 15 feet from adjacent side property lines.
3. Type and number of signs allowed:
 - a. For complete buildings, one freestanding double-faced sign not to exceed 32 square feet in sign area. The faces of the sign may not be more than 2'-0" apart ("V" shape in plan), and the top of the sign may not be higher than 8'-0" above the ground, or one wall sign attached parallel to the building façade not to exceed 32 square feet in sign area. (Exhibit B)
 - b. For space available within a multi-tenant industrial or commercial building, one freestanding double-faced sign not to exceed 20 square feet in sign area. The faces of the sign may not be more than 2'-0" feet apart ("V" shape in plan) and the top of the sign may not be more than 6'-0" above the ground, or one wall sign attached parallel to the building façade not to exceed 20 square feet in sign area and located at the entry to the available space located below the second floor slab in height above the ground. (Exhibit C)
4. Real estate type signs shall not be illuminated in any manner or constructed of reflective materials.
5. No real estate type signs shall contain any flags, streamers, banners, movable or sound producing devices.
6. All support structural members for any real estate signs shall be structurally designed by a Florida Licensed engineer and properly permitted than the normal City of Dania Beach permitted process after approval by Bridge Point at Port 95.
7. All structural elements shall be painted to match the colors of the respective sign face. (Minimum requirements paint white).
8. All backs of signs and structural numbers shall be painted to match the colors of the respective sign face. (No raw exposed wood). (Minimum requirements paint white).

9. No real estate sign shall be placed in such a manner that it would block, or obscure visibility at a street intersection.
10. All real estate signs must be removed within ten days from the date a binding agreement is entered into for the sale, lease, or rental of the property or immediately upon the removal of the property from the market.
11. All real estate signs must be kept in good condition and repair at all times and must be either removed or repaired immediately from the site by the listing agent or broker if so notified by Bridge Point at Port 95 for reason of condition.

IV. GENERAL NOTES AND PROCEDURE

The following information, specifications, prohibitions are pertaining to all signs within Bridge Point at Port 95.

A. SPECIFIC PROHIBITIONS

1. Examples of sign types or sign components that will not be permitted are as follows:
 - a. Moving or rotating signs, or signs with moving or flashing lights, strobes, light races, etc.
 - b. Signs employing exposed raceways, ballast boxes, or transformers.
 - c. Signs employing surface jumping of wires or neon tubes between letters or words.
 - d. Signs exhibiting the names, stamps or decals of the sign manufacturer or installer.
 - e. Signs of box or cabinet type employing luminous plastic panels.
 - f. Signs employing luminous or non-luminous vacuum formed type plastic letters.
 - g. Cloth, wood paper or cardboard signs, stickers, decals or temporary painted signs around or on exterior surfaces (doors, and/or glass) of the demised premises.
 - h. Signs employing the use of any sound or noise making devices or components.

- i. Signs, letters, symbols, or identification of any nature painted directly on exterior masonry walls of the demised premises.
- j. Signs of a temporary character or purpose, irrespective of the composition or material of the sign.
- k. Outrigger signs, exterior-moving signs, roof top signs, or parapet signs.
- l. Signs on any vehicle, trailer, etc., permanently parked so as to attract attention to a place of business.
- m. Any permanent or temporary advertising device using a hot air balloon or any aerial device, illuminated or non-illuminated, shall be prohibited.
- n. Illuminated awnings.
- o. Flags, banners pennant, streamers, are prohibited except those flags of the U.S.A., State of Florida or City of Dania Beach displayed in an appropriate way.

B. REMOVAL UPON VACATION OF PREMISES

Any business owner and/or lessee's identification signs advertising a commodity or service associated with a premise shall be removed from the premises by the owner or lessee not later than sixty (60) calendar days from the date the premises are vacated and/or such activity has ceased to exist on the premises.

C. GENERAL NOTES AND SPECIFICATIONS

1. All materials shall be shown in the sign fabricator's design drawings and shall be the best quality products available.
2. All additional parts necessary to complete fabrication and installation shall be furnished by the sign contractor, even though such parts are not definitely shown or specified.
3. All structural elements, posts, extrusions and supports shall conform to the requirements of the design drawings, ASTM standards, all applicable building codes, and shall be as submitted and approved on the shop drawings.
4. All fastening shall be as indicated on the design drawings and shall be compatible with the materials being fastened.

5. Isolation materials shall be provided between unlike metals.
6. Vinyl sign material where used shall be die-cut gloss finish vinyl film 3.5 mils thick with continuous pressure-sensitive adhesive backing equal to "Scotchcal" or "Scotchlite" brand, manufactured by Minnesota Mining and Manufacturing Company and have a seven year minimum exterior life span.
7. All electrical materials and equipment shall be of the best quality products available and shall bear the Underwriters' Laboratories label or listing wherever possible and must meet the National Electrical Code as well as all local codes.
8. Illuminated signs shall be provided with light tight vents as required for appropriate heat dissipation, and be indicated on the shop drawings submitted.

D. PAINT

1. All paint used shall be of a type made specifically for the surface material on which it is to be applied as recommended by the manufacturer of the paint. (Dupont Imron or Matthew's acrylic polyurethane paint or approved equal as minimum standards.)
2. All aluminum sign exterior surfaces shall be primed and painted with "Imron" acrylic polyurethane, or its approved equivalent.
3. Priming, surface preparation of all materials and application of all materials shall be in strict accordance with the manufacturers' written product data, and as otherwise necessary to produce a finish approved by the developer.
4. Paint shall be ordered or mixed in sufficient quantity to assure consistent application for all signs specified in a given color with touch-up portions provided to tenants in re-usable containers.

E. ELECTRICAL WORK

1. All electrical work shall be in accordance with the requirements of all applicable City of Dania Beach building codes, as well as National Electric Code and is the responsibility of each tenant.
2. The sign contractor shall provide all transformers, ballasts, internal electrical conduit and wiring, as well as electrical hookup of the signs. The sign contractor shall determine availability of electrical service for each sign and notify tenant of any additional work necessary for providing service to the sign location.

3. All exterior illuminated signs will be connected to tenant's electrical service and operated at uniform intensity (established by Bridge Point at Port 95) and controlled by a common photocell and/or timer set in accordance with Bridge Point at Port 95's schedule.
4. The tenant is responsible for all parapet, wall or roof membrane penetrations for the tenant's signs.
5. When required, sign exterior shut off switch shall be built into the leg of a letter, or completely concealed except for switch handle or toggle. No exposed "J" box switches allowed.

F. PROCEDURES

1. All signs that are erected, installed, enlarged, or repaired or structurally altered shall comply with the provisions of these criteria.
2. All signs must be in accordance with the provisions of these criteria and the applicable building codes at the time of issuance of a sign approval by the Bridge Point at Port 95 and issuance of a permit by City of Dania Beach Building and Zoning.
3. Approval of a sign by Bridge Point at Port 95 in no way relieves the tenant of the responsibility of obtaining a valid sign permit through the normal permitting procedures of the City of Dania Beach Building and Zoning department.
4. A copy of the valid City of Dania Beach sign permit must be submitted to Bridge Point at Port 95 prior to commencing any work on the site.
5. Tenant must submit for Bridge Point at Port 95 approval the following plans and specifications prior to beginning any work on any signage for his site.
 - a. Two copies showing elevation drawings of any and all signs, (as an individual sign or as a sign program), to a scale of 1/2"-1'-0" showing complete sign elevations, colors, and dimensions of each sign.
 - b. Two copies of a scaled drawing at 1/4"=1'-0" scale showing the complete elevation of the building or buildings where the sign is located indicating the following:
 - i. All exterior dimensions of the structure and applicable architectural details.
 - ii. Location of sign, actual typography of sign, and size of logo and/or lettering to scale.

- iii. All colors.
- iv. A separate scale drawing of the individual sign or signs shown at 1/2"=1'-0" scale. This drawing shall show to scale all dimensions, lettering height, total square footage of sign, and applicable logo colors, materials, etc.
- v. A location site plan showing the location of any or all signs indicating all buildings, set backs, property lines, right-of-way lines, easements, etc., as may be applicable and impact on the sign and/or its location. Indicate street names and lineal front feet of street frontage, (include North orientation arrow).
- vi. Detail drawings of sign elements, letters, etc. at an appropriate scale, (1-1/2"=1'-0" or better) to indicate method of construction, illumination, fasteners, materials, type font, etc.
- vii. A structural drawing signed and sealed by a Florida licensed engineer at an appropriate scale meeting the City of Dania Beach Building and Zoning requirements and hurricane wind load requirements.
- viii. Signs to be illuminated shall show on the submitted drawings in plan and elevation the location of electric outlets, conduits, type of light fixtures a proposed lighting direction, total illumination (Lumens) level. The plan shall be signed and sealed by a Florida licensed electrical engineer.

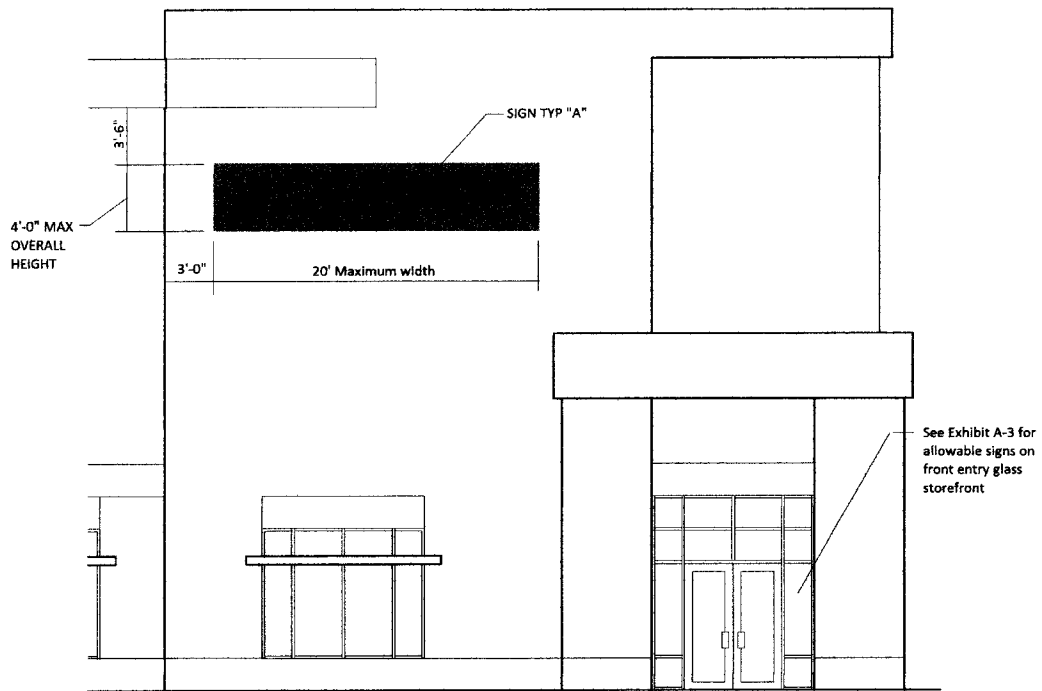


EXHIBIT A-1

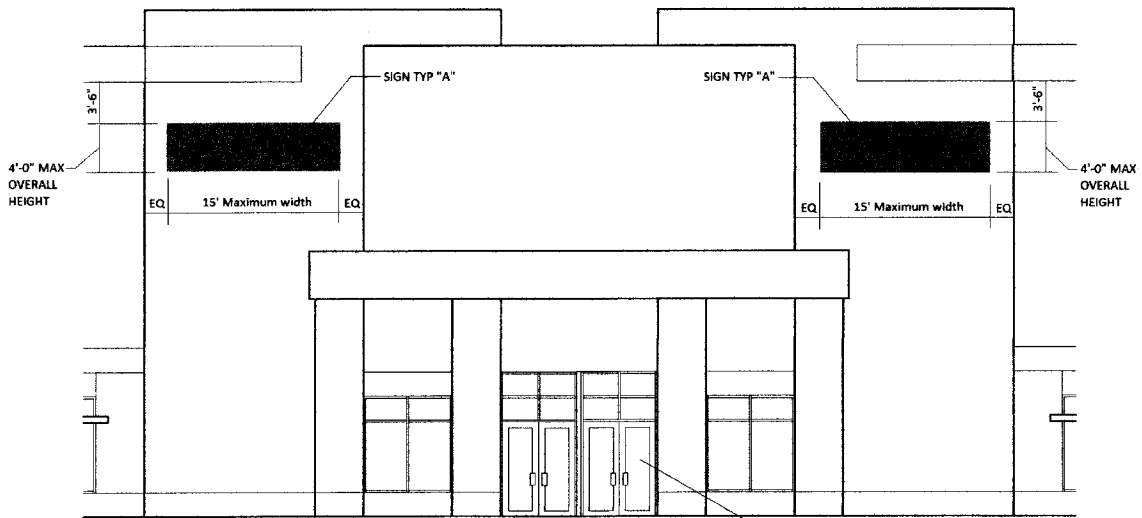


EXHIBIT A-2

See Exhibit A-4 for allowable signs on front entry glass storefront

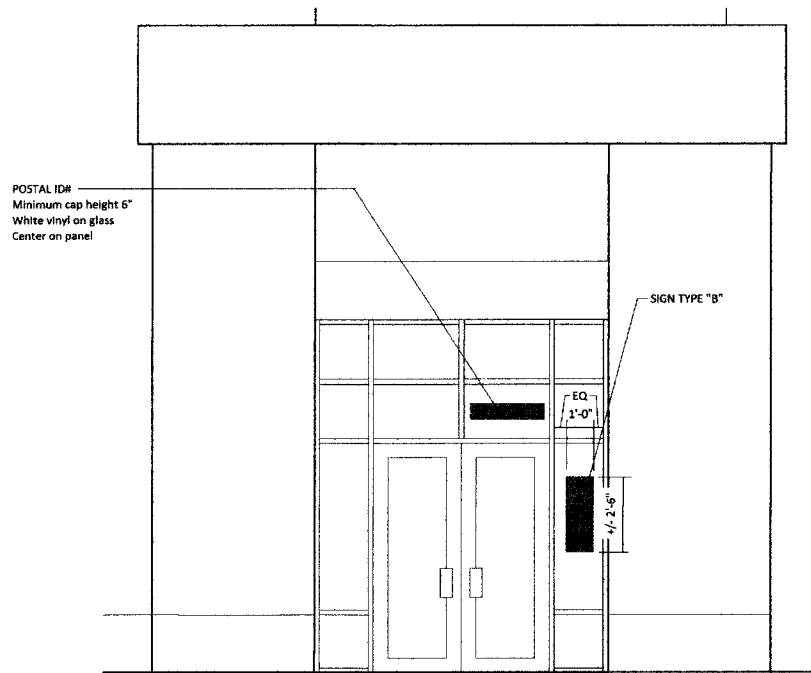


EXHIBIT A-3

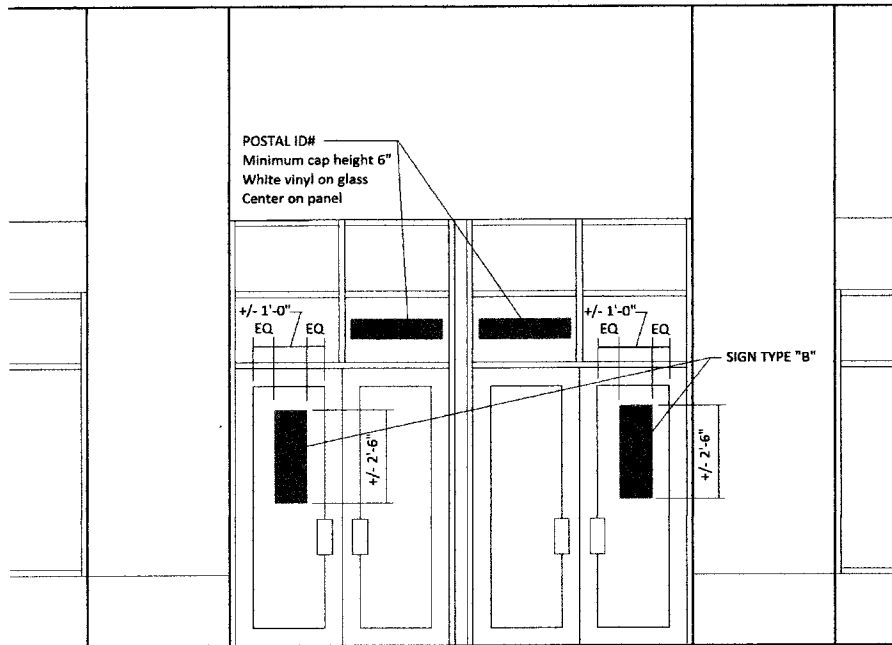
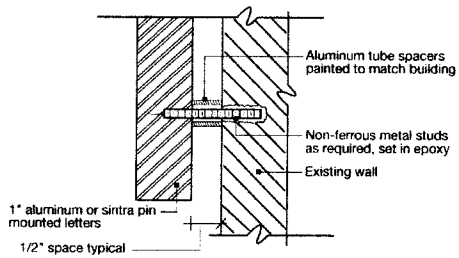
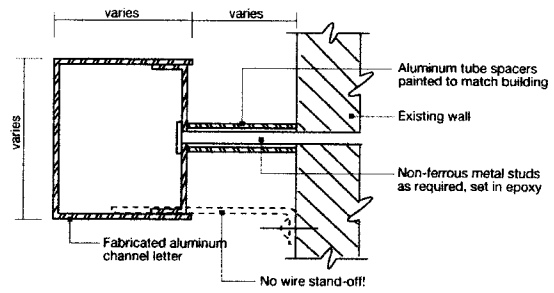


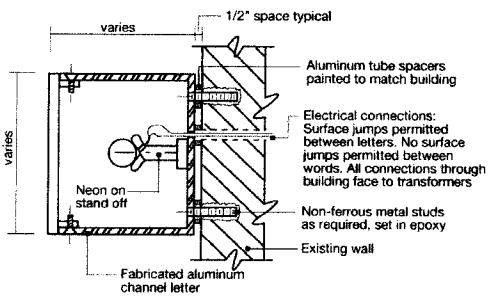
EXHIBIT A-4



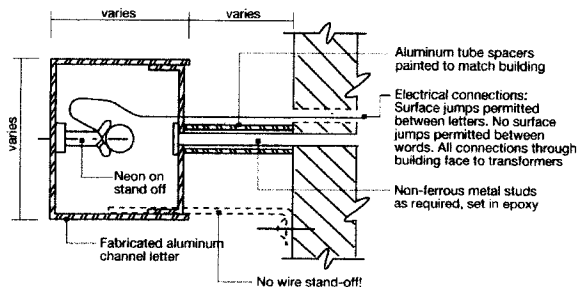
NON-ILLUMINATED PIN MOUNT



NON-ILLUMINATED REVERSE CHANNEL



ILLUMINATED CHANNEL



ILLUMINATED REVERSE CHANNEL

EXHIBIT B

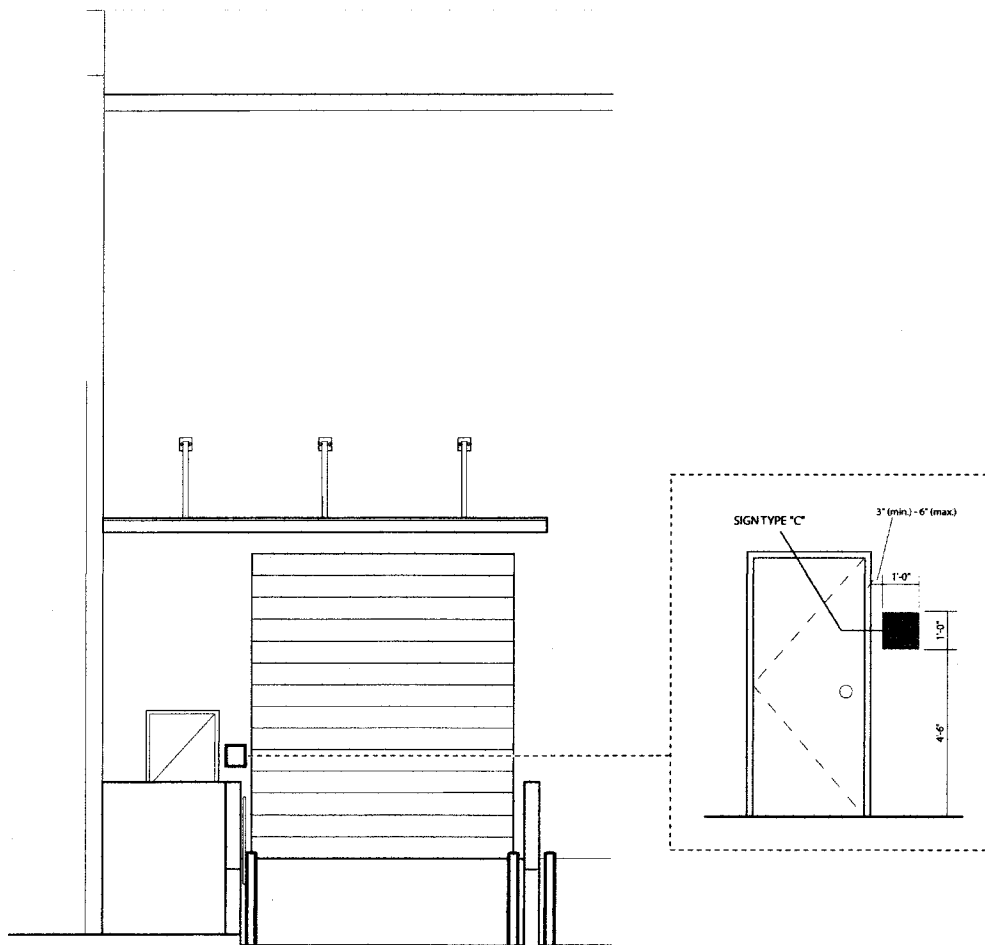


EXHIBIT C-1

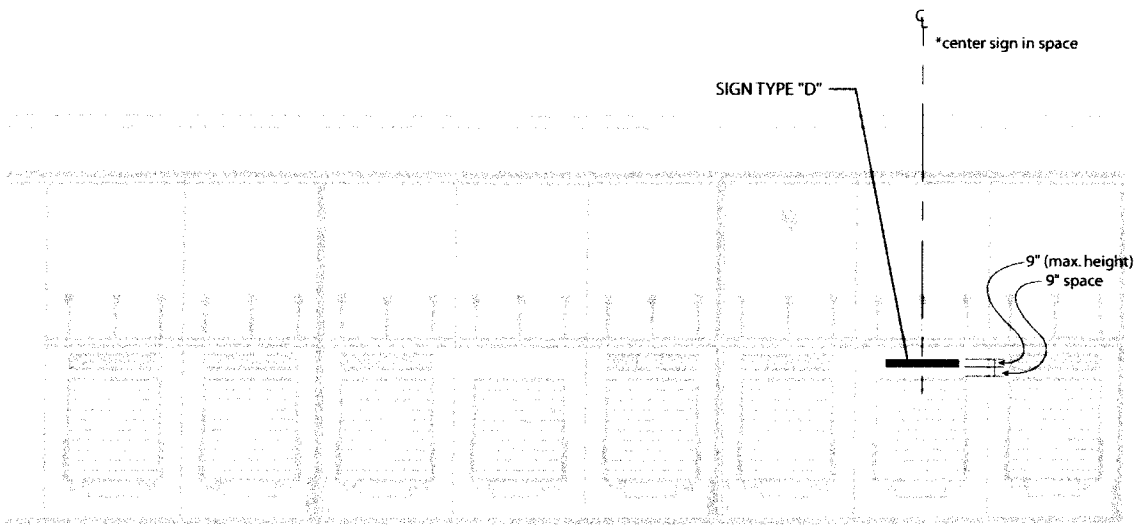


EXHIBIT D-1

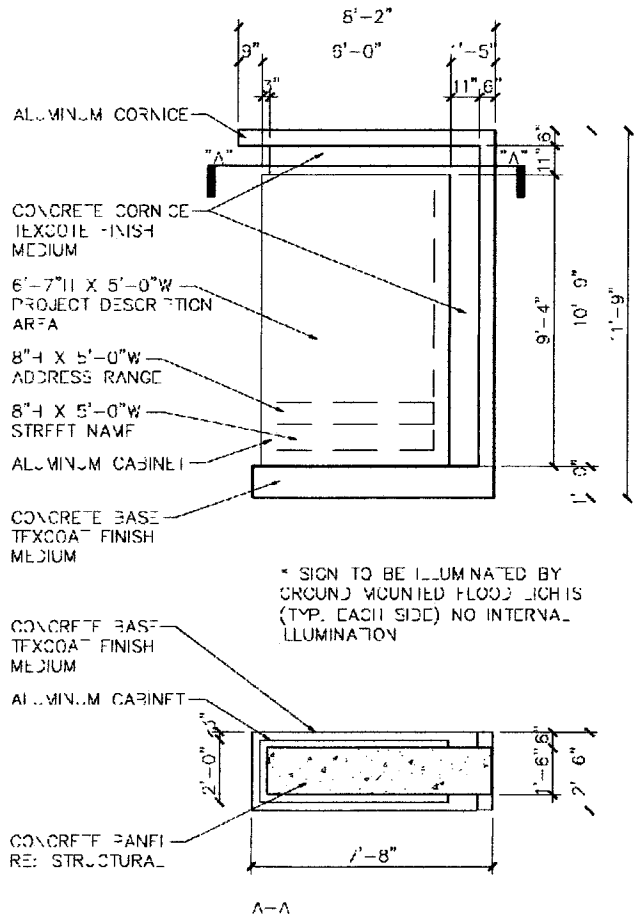


EXHIBIT E-1

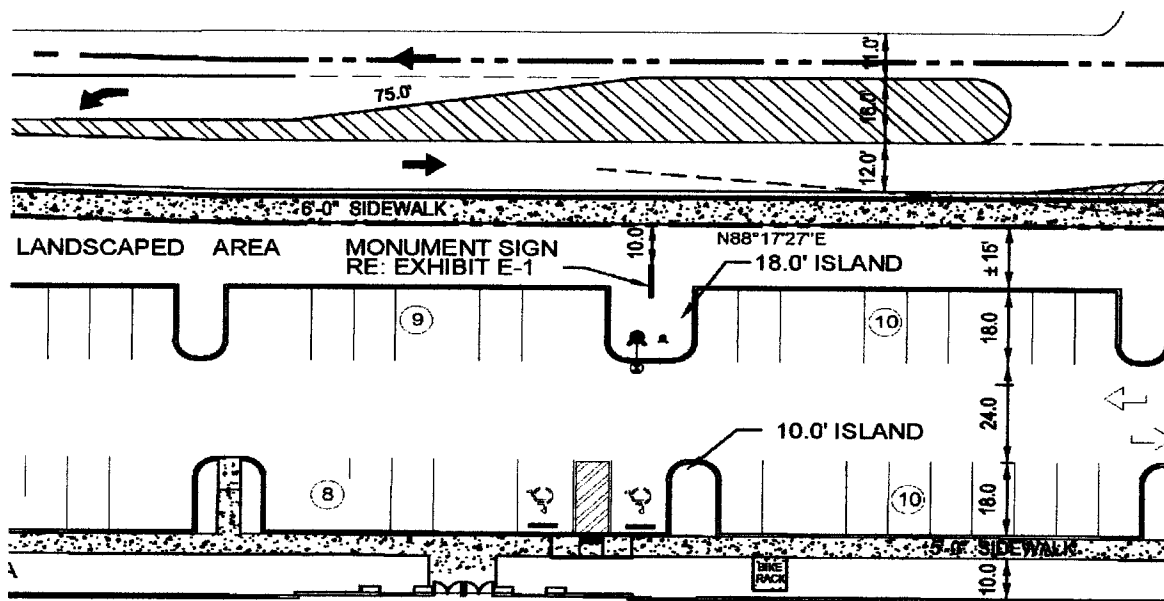


EXHIBIT E-2



Environmental Protection and Growth Management Department
PLANNING AND ENVIRONMENTAL REGULATION DIVISION
1 North University Drive, Suite 102-A • Plantation, Florida 33324 • 954-357-6666 • FAX 954-357-6521 • 954-519-1412

September 10, 2012

James McLaughlin Jr. RLS
McLaughlin Engineering Company
400 N.E. 3rd Avenue
Fort Lauderdale, FL 33301

RE: Two-Year Extension for the Lakeview Industrial Park Finding of Adequacy
(073-MP-07)

Dear Mr. McLaughlin,

Pursuant to your request, dated August 31, 2012, the finding of adequacy date for issuance of a building permit and/or installation of infrastructure for the Lakeview Industrial Park Plat has been granted a two year extension in accordance with House Bill 503. The plat was approved by the County Commission on June 24, 2008, therefore, the new expiration date for the finding of adequacy has been extended to June 24, 2015.

Please contact me at (954) 357 – 6640 if you have any questions.

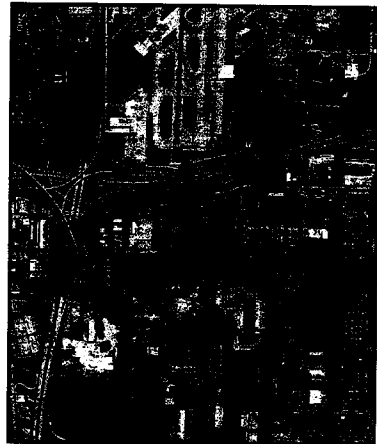
Sincerely,

A handwritten signature in cursive script that reads "Patricia Gull".

Patricia Gull, AICP
Planning Section Manager

cc: Maite Azcoitia, County Attorney's Office
Henry Sniezek, Planning and Environmental Regulation

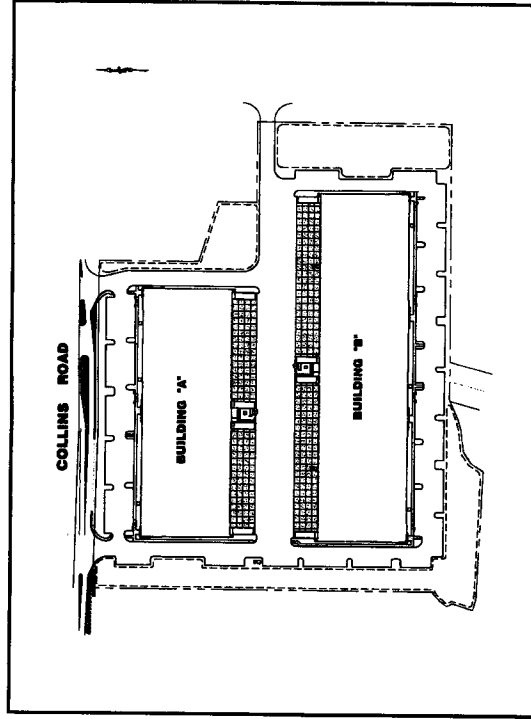
SITE PLAN SUBMITTAL FOR BRIDGE POINT PORT 95 CITY OF DANIA BEACH BROWARD COUNTY, FLORIDA



PROJECT VICINITY MAP
SCALE: NONE

S.C.M.S. PROJECT NO.	TYPE	UNITS	DATE'S PER UNIT	NO. OF UNITS	PERM. CODE	TOTAL
WATER SUPPLY	WATER SUPPLY	200.00	6-150	200.00	60-7	200.00
SEWER	SEWER	200.00	6-150	200.00	60-7	200.00
ROADWAY	ROADWAY	178.40	1-100	178.40	100	178.40
UTILITIES	UTILITIES	1.17	1-100	1.17	100	1.17

NOTE: CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH BROWARD COUNTY ORDINANCES AND SPECIFICATIONS.



PROJECT LOCATION MAP
SCALE: NONE
SECTION 29 TOWNSHIP 30 S RANGE 48 E
PROPERTY ID. NO 5045-29-84-0010

OWNER:
BRIDGE PORT 95, LLC
C/O BRIDGE DEVELOPMENT PARTNERS
CHICAGO, IL 60604
TELEPHONE: (312) 883-7230
FAX: (865) 834-2522

APPLICANT:
BRIDGE DEVELOPMENT PARTNERS, L.L.C.
14 BE 4TH STREET
SUITE 430
FORT LAUDERDALE, FL 33425
TELEPHONE: (312) 883-7230
FAX: (865) 834-2522

ARCHITECT:
R.C. ARCHITECTS
14 BE 4TH STREET
SUITE 430
FORT LAUDERDALE, FL 33425
TELEPHONE: (312) 883-7230
FAX: (865) 834-2522

ENGINEER:
LANDPLAN ENGINEERING GROUP
1475 N.W. 120TH DRIVE
CORAL SPRINGS, FL 33071
PHONE: (954) 341-2881
FAX: (954) 341-2881

LAND SURVEYOR:
MALAUSHIN ENGINEERING COMPANY
400 NE 3RD AVE.
FL. 33304
FORT LAUDERDALE, FL 33304
TELEPHONE: (954) 584-7894
FAX: (954) 763-7815

SITE LIGHTING:
CONSTRUCTION CONSULTANTS OF
FLORIDA, INC.
500 NE 13TH STREET
FORT LAUDERDALE, FL 33304
TELEPHONE: (954) 584-7904
FAX: (954) 341-0555

LANDSCAPE ARCHITECT:
JAMES SANTIAGO
STRUCTURE & DESIGN
500 NE 13TH STREET
FORT LAUDERDALE, FL 33304
TELEPHONE: (954) 702-4801
EMAIL: JSANTIAGOINC@GMAIL.COM

LEGAL DESCRIPTION:
PROPERTY KNOWN AS LAKEVIEW INDUSTRIAL PARK PLAT AS RECORDED IN THE PLAT RECORDS OF BROWARD COUNTY, PG 178 PG 648 CONTAINING 15.460 ACRES MORE OR LESS.

INDEX:

COVER SHEET	1 OF 1
BOUNDARY & TOPOGRAPHIC SURVEY	PE-1
PRELIMINARY ENGINEERING PLAN	PE-1
PRELIMINARY MARKING PLAN	PM-1
PROTECTIVE PLAN	PP-1
PROTECTIVE PLAN BLDG A	A 100, A1.10
ARCHITECTURAL FLOOR PLANS BLDG B	A 120, A1.20
ARCHITECTURAL ELEVATION 8 BLDG A	A 300
ARCHITECTURAL ELEVATION 8 BLDG B	A 310
PHOTOMETRIC PLAN	PH-1
LANDSCAPING PLANS	L-1.1, L-2.1, L-3.1, L-3.2, L-3.3
IRRIGATION PLANS	IR-1.1, IR-2.1, IR-3.1

LIST OF APPROVALS:
CITY OF DANIA BEACH PLANNING DEPARTMENT
CITY OF DANIA BEACH PLANNING DEPARTMENT
CITY OF DANIA BEACH UTILITY PLANNING DEPARTMENT
BROWARD COUNTY W.W.S. (WATER & SANITARY SEWER)
BROWARD COUNTY W.W.S. (WATER MAIN)
CITY OF HOLLYWOOD UTILITY DEPT. (SANITARY)

SITE DATA:
LAND USE DESIGNATION: INDUSTRIAL (RESEARCH OFFICE / MARINE (ROW-AA))
TOTAL SITE AREA: 80,023 SF OR 2.31 ACRES
TOTAL IMPROVABLE AREA: 178,388 SF OR 4.12 AC - 27.65%
LANDSCAPE BUFFER AREA: 31,165 SF OR 0.71 AC - 3.87%
LANDSCAPE AREA: 226,001 SF OR 5.17 AC - 26.28%
SIDEWALK AREA: 14,598 SF OR 0.34 AC - 2.26%
TOTAL PAVED AREA: 178,388 SF OR 4.12 AC - 27.65%
TOTAL IMPROVABLE AREA: 473,328 SF OR 10.87 AC - 72.41%

COSEME:
GENERAL OFFICE (10.0 % OF 22,883 SF / 300) REQUIRED PROVIDED
WAREHOUSE (24.0% OF 22,883 SF / 300) REQUIRED PROVIDED
SQUARE FEET OF OFFICE (2000) 27 27
SQUARE FEET OF WAREHOUSE (1000) 27 27

TOTAL PARKING SPACES: 284 PROVIDED

IRON, ZONING REQUIREMENTS: REQUIRED PROVIDED
MAXIMUM BUILDING HEIGHT: 30 FT.
MAXIMUM LOT COVERAGE: 70%
MINIMUM FRONT SETBACK: 30 FT.
MINIMUM SIDE SETBACK: 10 FT.
MINIMUM REAR SETBACK TO STREET: 10 FT.
MINIMUM PARKING SETBACK TO PL: 5 FT.
MINIMUM PARKING SETBACK TO PL: 18.0 FT.

*** WATER REQUIRED:**
NOTE: (1) BUILDING TO BE LIMITED TO ONE OFFICE SPACE IN ACCORDANCE WITH THE CITY OF DANIA BEACH LAND DEVELOPMENT CODE.
(2) SPECIAL EXEMPTION TO INCLUDE WAREHOUSE DISTRIBUTION.

RECEIVED
JUL 29 2013
Planning Department

FOR THE CITY OF DANIA BEACH
FOR THE ENGINEER

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 120TH DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL: (954) 341-2881 • EMAIL: LPE@LANDPLAN.COM



PROJECT NO. 10085
DATE: JUNE 2013



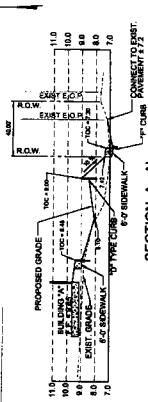
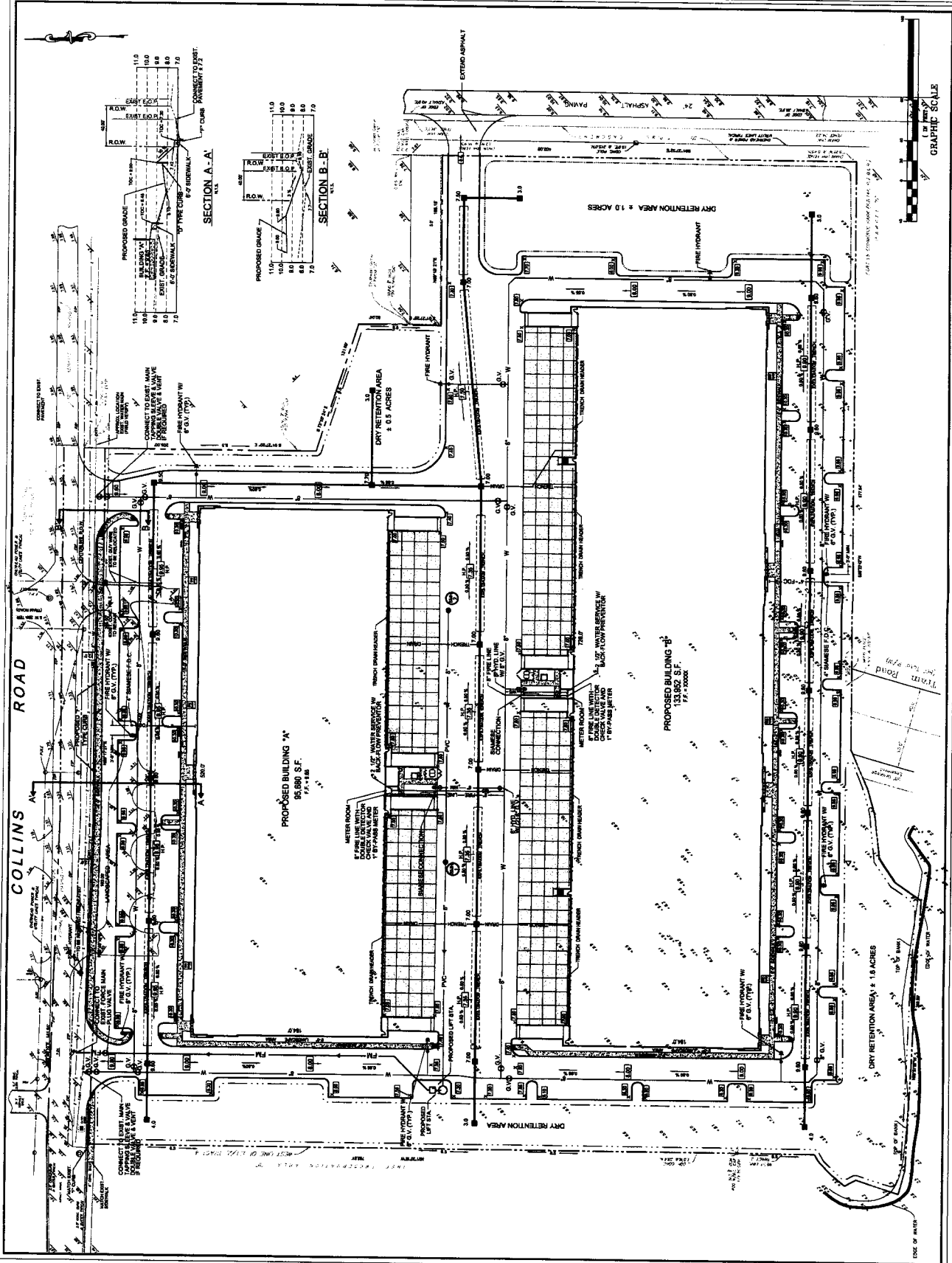
DATE	REVISIONS

DATE	JUNE 2013
SCALE	AS NOTED
DESIGNED BY	P.A.G.
DRAWN BY	P.A.G.
CHECKED BY	P.A.G.
FIELD BOOK	

BRIDGE POINT PORT 95
 BROWARD COUNTY, FLORIDA
 CITY OF DAVID BEACH

SHEET PE-1
 PROJECT No. 10058

REGISTERED PROFESSIONAL ENGINEER
 FLORIDA REG. NO. 48313
 (FOR THE FIRM)

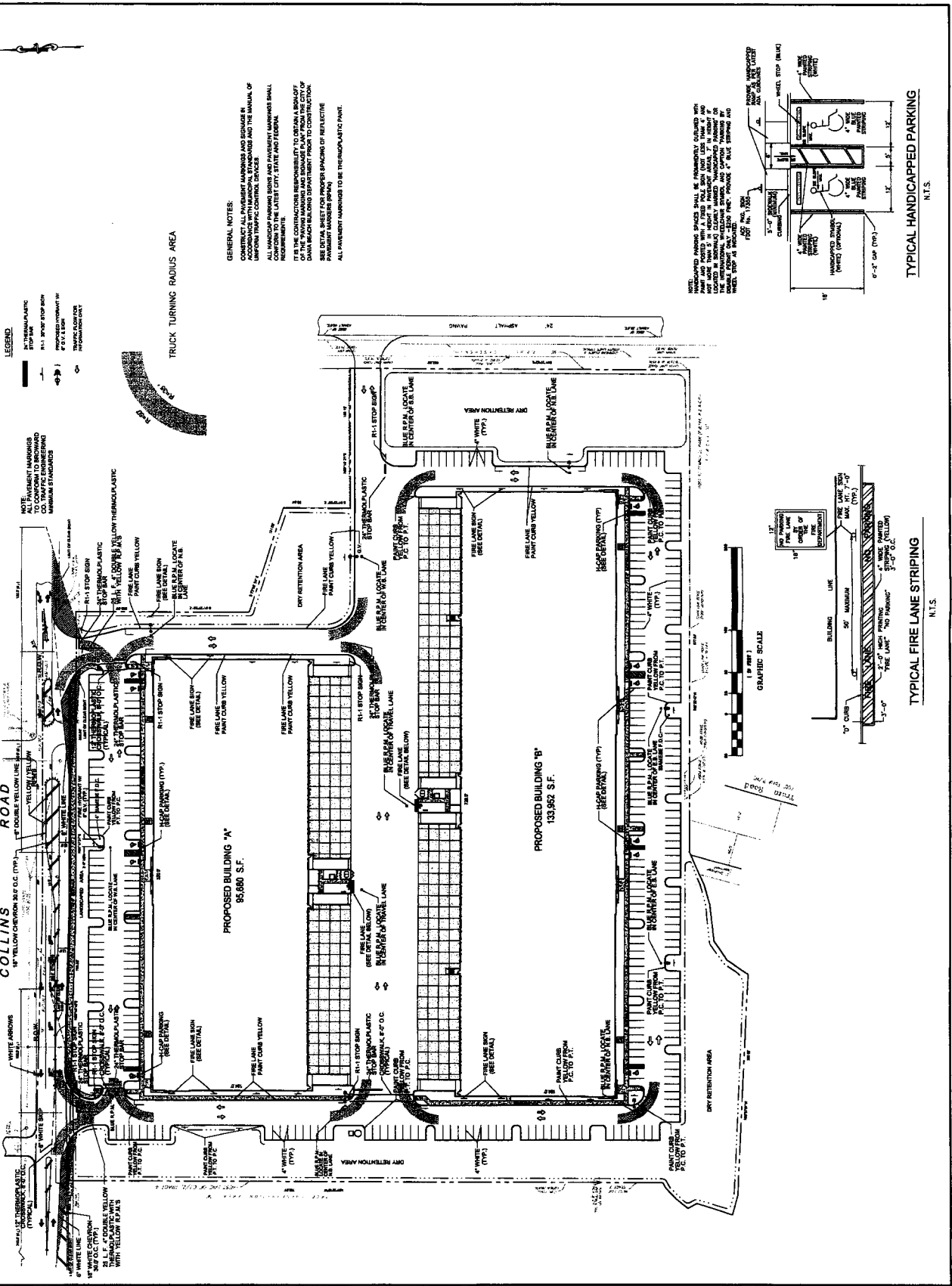


DATE	REVISIONS
JUNE 2013 <td>AS NOTED </td>	AS NOTED
DESIGNED BY	P.A.G.
DRAWN BY	P.A.G.
CHECKED BY	P.A.G.
FIELD BOOK	

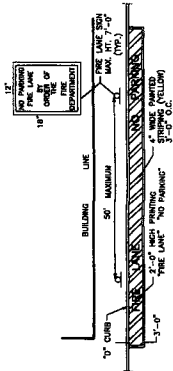
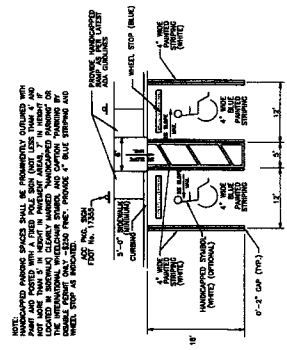
PAVEMENT MARKING PLAN
 BRIDGE POINT PORT 95
 CITY OF DAVIA BEACH
 BROWARD COUNTY, FLORIDA

SHEET **PM-1**
 PROJECT No. **10058**

NEW BRIDGE POINT PORT 95
 FLORIDA REG. NO. 46333
 (FOR THE P.M.)



GENERAL NOTES:
 1. CONSTRUCT ALL PAVEMENT MARKINGS AND SIGNAGE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUAL OF PRACTICES FOR THE DESIGN AND CONSTRUCTION OF HIGHWAY AND AIRPORT PAVEMENTS.
 2. ALL HANDICAPPED PARKING SPACES AND SIGNAGE MARKINGS SHALL CONFORM TO THE LATEST CITY, STATE AND FEDERAL REQUIREMENTS.
 3. THE DESIGNER ASSUMES RESPONSIBILITY TO DESIGN, INSTALL, AND MAINTAIN ALL PAVEMENT MARKINGS AND SIGNAGE PLANT FROM THE CITY OF DAVIA BEACH BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
 4. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC PAINT.



LEGEND
 THERMOPLASTIC STOP BAR
 R-11 STOP SIGN
 3'-0" WIDE FIRE LANE STRIPING
 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT

NOTE: CONTACT MARKINGS TO CONFORM TO BROWARD COUNTY STANDARD PRACTICES FOR HANDICAPPED PARKING SPACES.

NOTE: ALL HANDICAPPED PARKING SPACES SHALL BE REMARKED AS SHOWN AND POSTED WITH A TRIP STOP SIGN (SEE DETAIL) WITH A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT AND A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT.

NOTE: ALL FIRE LANE STRIPING SHALL BE REMARKED AS SHOWN AND PAINTED WITH A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT AND A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT.

NOTE: ALL FIRE LANE STRIPING SHALL BE REMARKED AS SHOWN AND PAINTED WITH A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT AND A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT.

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NOTE: ALL FIRE LANE STRIPING SHALL BE REMARKED AS SHOWN AND PAINTED WITH A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT AND A 3'-0" WIDE FIRE LANE STRIPING WITH YELLOW PAINT.

RLC Architects
 1111 N. Orange Avenue, Suite 100
 Orlando, Florida 32809
 Phone: 407.251.1111
 Fax: 407.251.1112
 www.rlcarchitects.com

BRIDGE DEVELOPMENT PARTNERS
 BRIDGE DEVELOPMENT PARTNERS
 2012

BRIDGE DEVELOPMENT PARTNERS
 BRIDGE DEVELOPMENT PARTNERS

Bridge Point at Port 95
 Dania Beach, Florida
 Bridge Development Partners

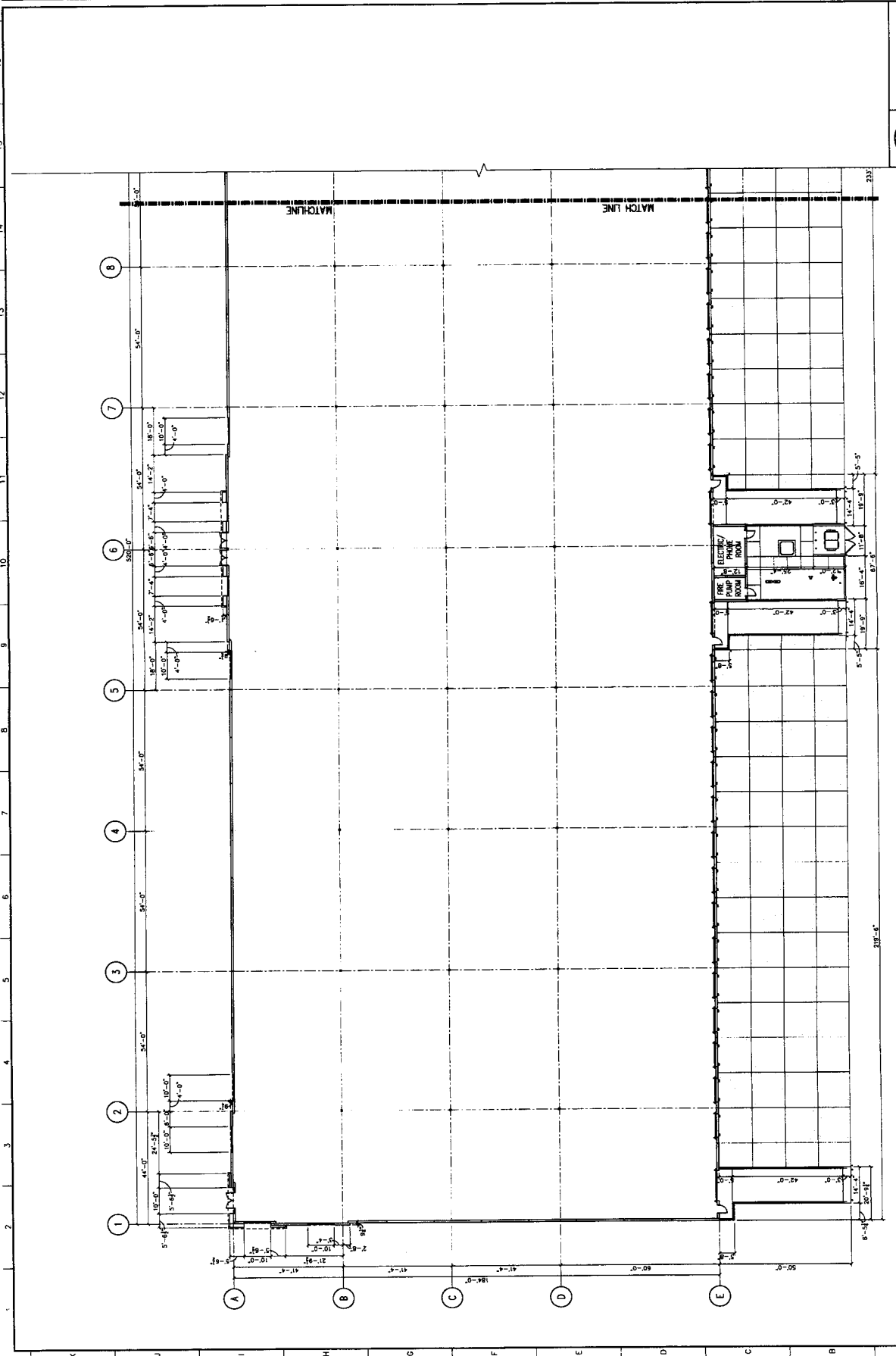
REVISIONS

Drawing Title
 1 FLOOR PLAN
 BUILDING "A"

AS NOTED
 Scale: 1/8" = 1'-0"
 Date: 07/19/13

Sheet No.
 A1.00

Principal Architect
 Project Manager
 Checked By
 Date



DEVELOPMENT REVIEW SUBMITTAL
 07/19/13



Sheet No.
 A1.00

1 FLOOR PLAN BUILDING "A"
 SCALE: 1/8" = 1'-0"

RLC Architects
 1410 N. W. 10th Street, Suite 200
 Ft. Lauderdale, FL 33304
 Phone: (954) 562-1234
 Fax: (954) 562-1235
 www.rlcarchitects.com



Bridge Point at Port 95
 Bridge Development Partners
 1410 N. W. 10th Street, Suite 200
 Ft. Lauderdale, FL 33304

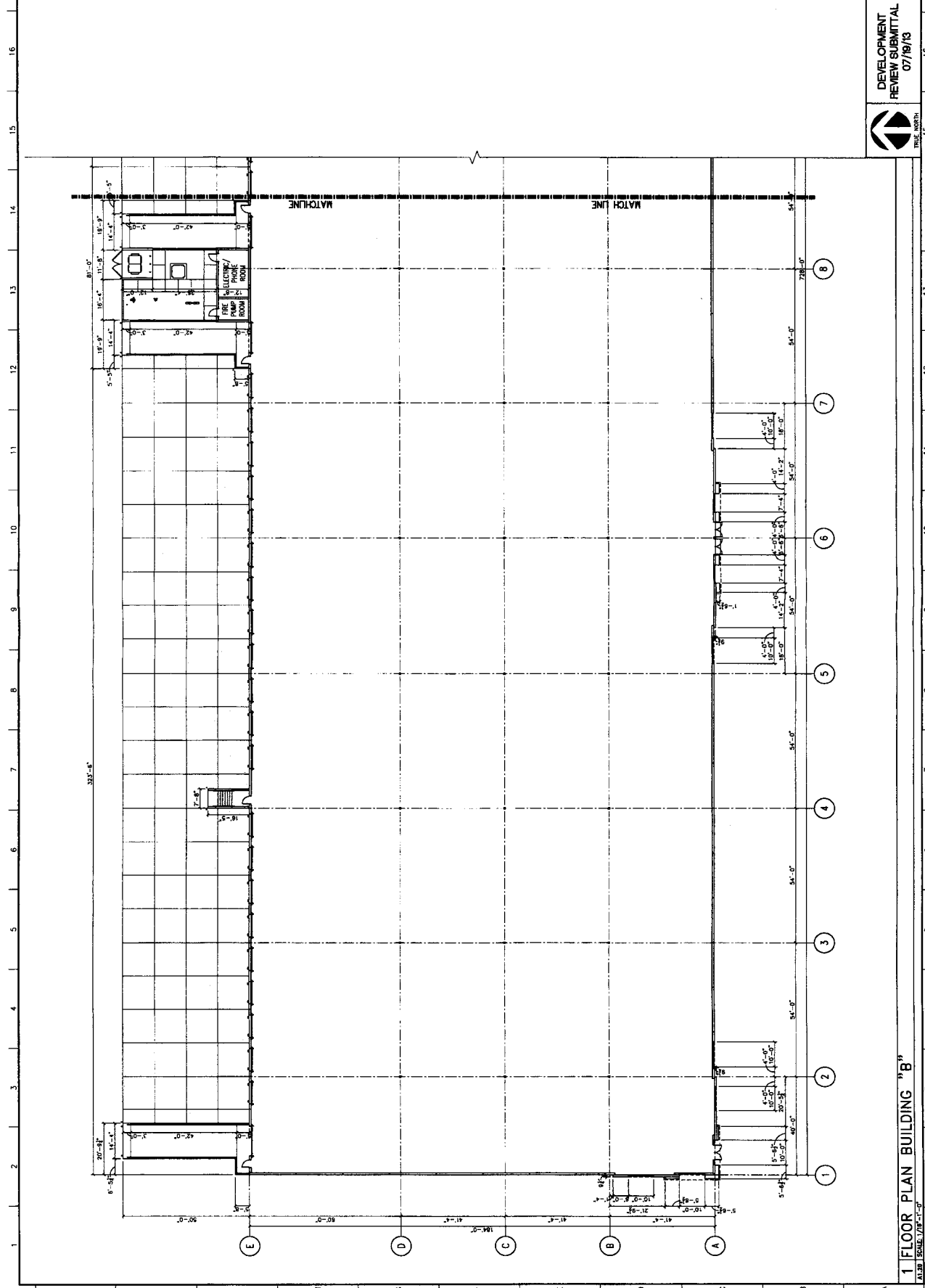
REVISIONS

No.	Description

Drawn by: **RLC**
 Project: **BRIDGE POINT FLOOR PLAN BUILDING 'B'**
 Scale: AS NOTED
 Date:

Project Director:
 Project Manager:
 Checked by:
 Date:

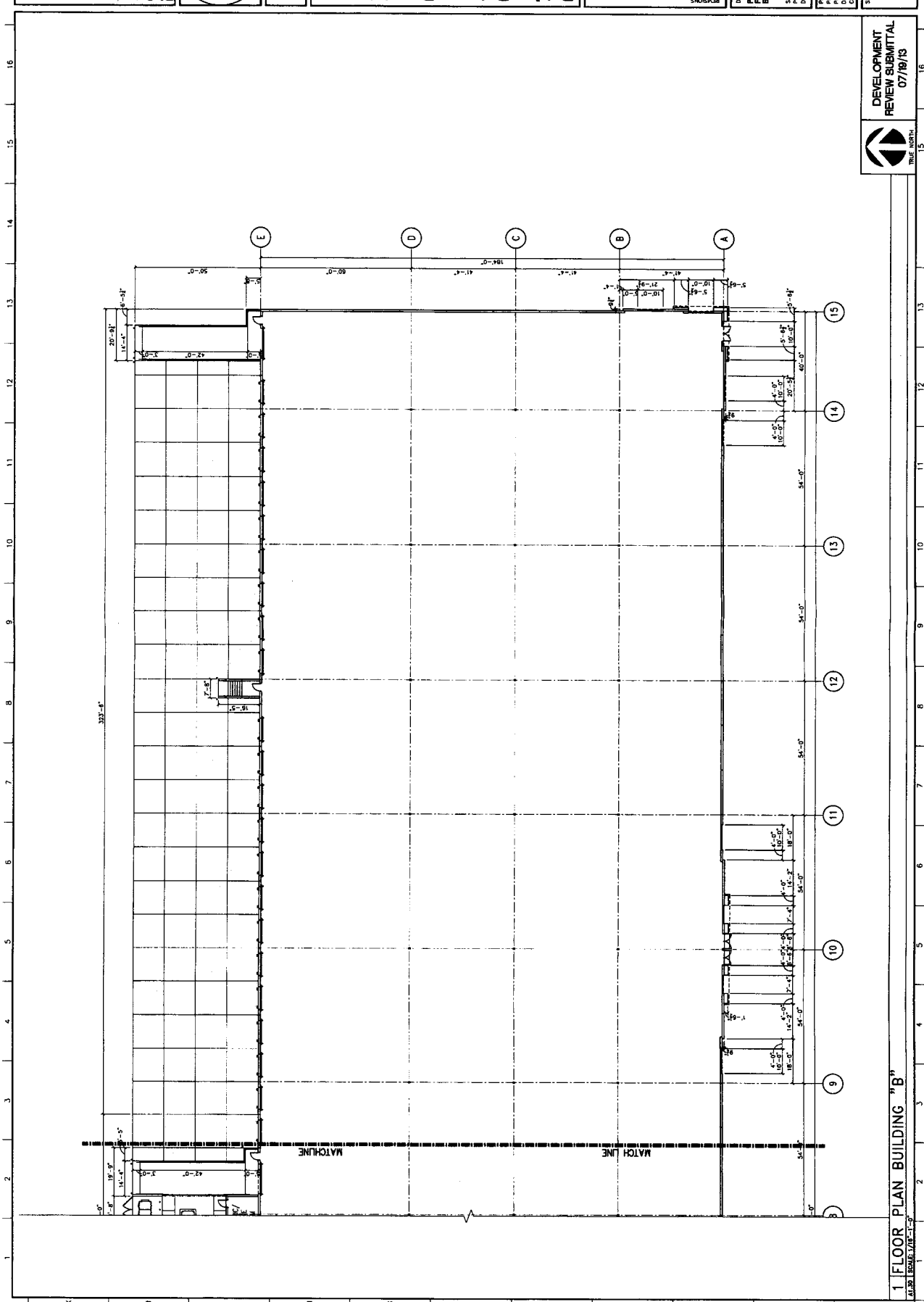
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DEVELOPMENT SUBMITTAL
07/19/13



1 FLOOR PLAN BUILDING 'B'
 DATE: 05/06/13



16
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DEVELOPMENT
REVIEW SUBMITTAL
07/19/13



1 FLOOR PLAN BUILDING "B"
A1.30 SCALE: 1/8"=1'-0"

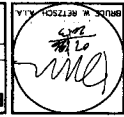
Sheet No.
A1.30

Prepared by:
Project Director:
Project Manager:
Checked by:

Drawn by:
PARTIAL FLOOR PLAN BUILDING "B"
Scale: AS NOTED
Project No. 13008.00
Date

REVISIONS

Bridge Point at Port 95
Danis Beach, Florida
Bridge Development Partners



RLC Architects
1115 NE 95th St., Suite 200
Fort Lauderdale, FL 33304
Tel: 954-561-1111
Fax: 954-561-1112
www.rlcarchitects.com

CONSTRUCTION CONSULTANTS
OF FLORIDA, INC.
CONSULTING ENGINEERS
1445 S.W. 21st Avenue
Fort Lauderdale, Florida
(954) 584-7904



BRIDGE POINT PORT 95
CITY OF DANIA BEACH
BROWARD COUNTY
SITE PARKING AND WAREHOUSE AREA
PHOTOMETRIC PLAN

DATE	REVISION
7/17	SEE EXISTING RECORDS

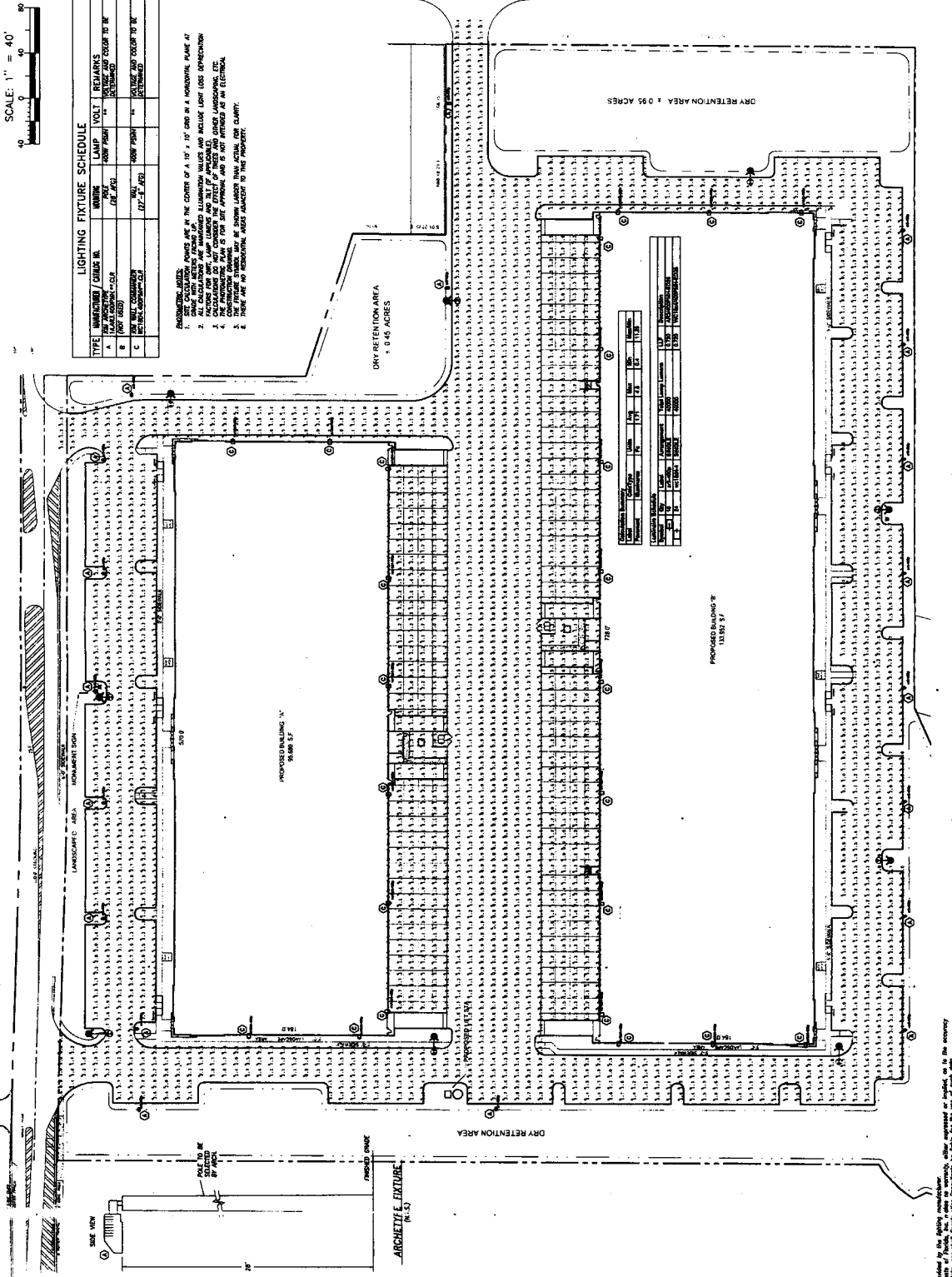
DRAWN BY: [Name]
 DATE: 6/24/13
 JOB NO.: 13-0801

PH-1
of 1

SCALE: 1" = 40'

TYPE	MANUFACTURER / MODEL NO.	WATTAGE	LAMP	VOLTS	REMARKS
A	NEW ARCHITECTURAL	100W	PAR 38	120V	INSTALL AND CEILING TO BE DETERMINED
B	NEW WALL MOUNTED	100W	PAR 38	120V	INSTALL AND CEILING TO BE DETERMINED
C	NEW WALL MOUNTED	100W	PAR 38	120V	INSTALL AND CEILING TO BE DETERMINED

1. ALL LIGHTING FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IESNA RECOMMENDATIONS FOR LIGHTING DESIGN. ALL LIGHTING FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IESNA RECOMMENDATIONS FOR LIGHTING DESIGN. ALL LIGHTING FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE IESNA RECOMMENDATIONS FOR LIGHTING DESIGN.

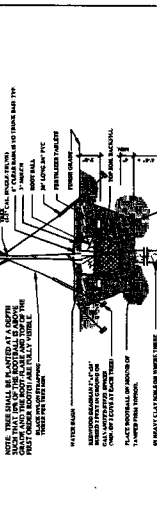
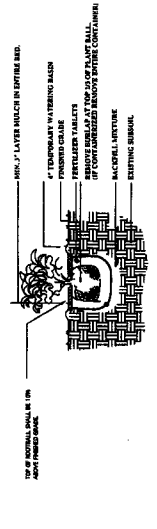
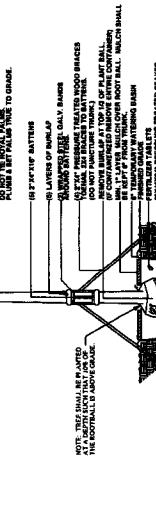
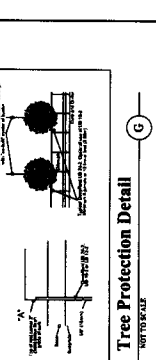
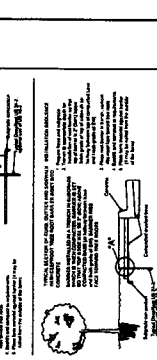
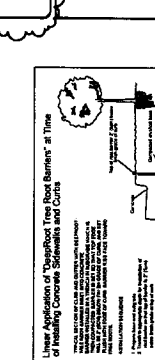
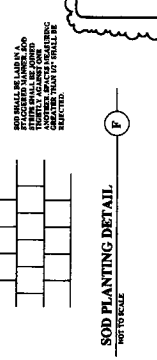
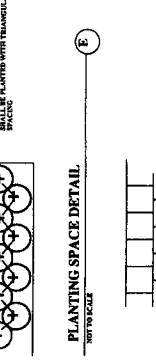
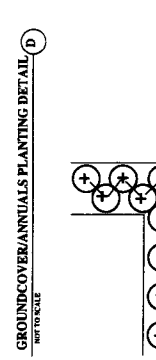
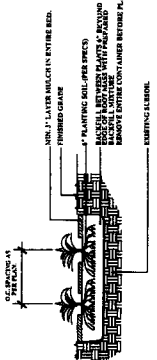


TYPE	MANUFACTURER / MODEL NO.	WATTAGE	LAMP	VOLTS	REMARKS
A	NEW ARCHITECTURAL	100W	PAR 38	120V	INSTALL AND CEILING TO BE DETERMINED
B	NEW WALL MOUNTED	100W	PAR 38	120V	INSTALL AND CEILING TO BE DETERMINED
C	NEW WALL MOUNTED	100W	PAR 38	120V	INSTALL AND CEILING TO BE DETERMINED

PROPOSED BUILDING 'C'
 30,000 S.F.

SHRUBS AND GROUND COVERS

ITEM	DESCRIPTION	QUANTITY	UNIT
001	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
002	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
003	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
004	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
005	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
006	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
007	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
008	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
009	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
010	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
011	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
012	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
013	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
014	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
015	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
016	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
017	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
018	PLANTING AREA, 12" x 12" x 12" (12" x 12" x 12")	12	EA
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PLANTING NOTES:

1. ALL SIZES SHOWN FOR PLANT MATERIAL ON PLAN ARE TO BE EXCEEDED BY THE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND CALIBER. THE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND CALIBER AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.

2. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPER OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN GRADES AND PLANTING NOTES. THE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND CALIBER AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.

3. IN ADDITION TO THESE REQUIREMENTS ALL LOCAL LANDSCAPER CODES AND REQUIREMENTS SHALL BE MET IN ORDER TO SATISFY THE REVIEW AND APPROVAL OF THE GOVERNING MUNICIPALITY.

4. ALL LANDSCAPING SCHEDULED TO OCCUR IN VEHICULAR USE AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBING OR OTHER DURABLE BARRIERS.

5. ALL PLANTING HOLES SHALL BE A MINIMUM OF 2:12 TIMES THE DIAMETER OF THE PLANT BALL. ALL PLANTING HOLES SHALL BE FILL WITH A CLEAN, LOOSE AND FRIABLE CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STECKS, OBSTACLES OR DEBRIS INCLUDING WEDS AND WEED SEED.

6. ALL PLANT MATERIALS SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING. NO DRY PLANTING SHALL BE PERMITTED. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE PLANT BALL IS FILLER WITH THE SURROUNDING GRADE.

7. ALL PLANT MATERIALS SHALL BE INSTALLED WITH FERTILIZER CONTAINING THE REQUIRED MINIMUM OF TRACE MINOR ELEMENTS AS OBTAINED FROM AN ORGANIC SOURCE OF THE NITROGEN SHALL BE OBTAINED FROM AN ORGANIC SOURCE.

8. ALL LANDSCAPE AREAS NOT COVERED BY GRASSES OR GRASS SEED SHALL BE COVERED BY SOIL AND ALL AREAS NOT COVERED SHALL BE COVERED BY SOIL AND ALL AREAS NOT COVERED SHALL BE COVERED BY SOIL TO A MINIMUM DEPTH OF THREE (3) INCHES OF COVER MULCH, SETTLED.

9. SOIL (AS NOTED), SOLID SOIL, AND SHALL BE LAID GRADUALLY TO MEET THE DRAINAGE CHARACTERISTICS OF THE SITE. BEHIND A GREEN AND HEALTHY GROUND COVERED JOINT AND SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME.

10. ALL LANDSCAPE AREAS SHALL BE BUILT BY A FULLY LICENSED LANDSCAPER SYSTEM ADMITTED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS WITHIN THE SPECIFIED TIME FRAME. (SEE REGULATION PLANS).

11. ANY SUBSTITUTIONS TO PLANT MATERIALS FOR AREAS AND ITEMS ADDRESSED BY LOCAL ORDINANCES SHALL BE APPROVED BY THE GOVERNING MUNICIPALITY PRIOR TO WORK PERFORMANCE.

12. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE PLANT BALL IS FILLER WITH THE SURROUNDING GRADE.

13. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE PLANT BALL IS FILLER WITH THE SURROUNDING GRADE.

14. ALL NEW LANDSCAPED AREAS ADJACENT TO EXISTING PAVES, WENT SHALL BE FILLER WITH THE SURROUNDING GRADE.

15. PLANTING PLANT TAKES PRECEDENCE OVER PLANT LIST.

16. TO BE INSTALLED FROM THE BUILDING PRIOR TO ANY TREE REMOVAL. THE TREE PRESERVATION SECTION (98.41) OF THE LANDSCAPE PRESERVATION CODE.

17. LANDSCAPE PRESERVATION CODE. ANY TREE REMOVAL SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME.

18. LANDSCAPER ORDINANCES SPECIFICATIONS ON REGULATION AND INSTALLATIONS SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME.

19. PRE-CONSTRUCTION MEETING WITH THE CITY LANDSCAPER.

20. THE COMPLETE INSTALLATION SHALL BE CERTIFIED BY THE FIRM PROVIDING THE LANDSCAPING. THE FIRM SHALL PROVIDE 100% COVERAGE OF ALL AREAS AS SHOWN AS BUILT PLANS TO THE OWNER.

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NOTE:

CONTRACTOR SHALL NOT BE ALLOWED TO USE MECHANICAL TREES WHEN INSTALLING LATERALS, MAINS, AND/OR WIRING OR ANY OTHER MATERIAL NECESSARY FOR THE IRRIGATION SYSTEM WITHIN 10' FROM THE FACE OF AN EXISTING TREE. ALL TREES WITHIN THE 10' OF THE TREE SHALL BE HAND CUT. ALL ROOTS EXPOSED SHALL BE CUT CLEANLY WITH NO JAGGED EDGES AND/OR TEARS.

THE IRRIGATION CONTRACTOR FOR THIS PROJECT SHALL BE RESPONSIBLE TO RUN ALL WIRES FROM THE POINT OF CONNECTION TO ALL VALVES.

ANY CHANGE TO THE IRRIGATION EQUIPMENT BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING TO THE LANDSCAPE ARCHITECT.

ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED PER THE SOUTH FLORIDA BUILDING CODE LATEST EDITION.

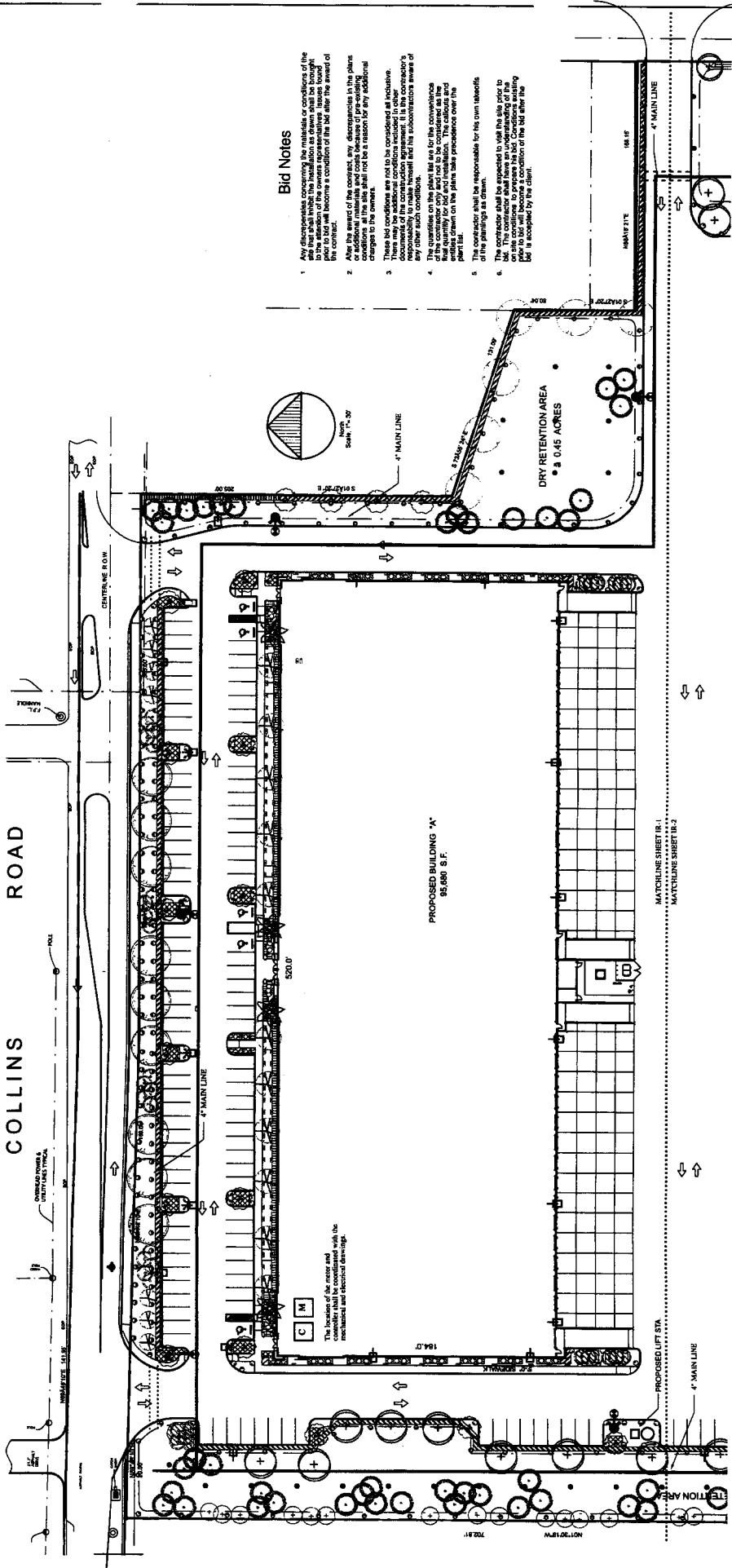
ALL WORK TO BE ACCOMPLISHED WITHIN PROPERTY LINES. ANY WORK SHOWN ON PLANS OUTSIDE OF PROPERTY LINES IS STRICTLY FOR GRAPHIC CLARITY.

MAINLINE IS SOMETIMES SHOWN IN ASPHALT UNDER SIDEWALK. THIS IS ALSO FOR GRAPHIC CLARITY. THE LINE SHOULD BE RUN ADJACENT TO THE HARDSCAPE.

6" POPS SHALL BE USED IN SOIL AREAS. 12" POPS SHALL BE USED IN GROUND COVER BEDS. NO SMALLER SIZES SHALL BE USED.

THE LOCATION OF THE MAIN IS SCHEMATIC. THE MAIN SHALL BE LOCATED IN LANDSCAPE AREAS WITHIN PROPERTY LINES AND WILL NOT BE LESS THAN 12" FROM ANY PAVEMENT.

THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY AND CONSTRUCTION DOCUMENTS.



Bid Notes

- Any discrepancies concerning the materials or conditions of the site shall be noted on the drawings as shown shall be brought to the attention of the architect prior to bid. No change of price shall be allowed after the award of the contract.
- After the award of the contract, any discrepancies in the plans or conditions of the site shall not be a reason for any additional charges to the owner.
- The contractor shall be responsible for the coordination of the work with the other trades and the subcontractors aware of any other such conditions.
- The quantities on the plans are for the convenience of the contractor. The contractor shall be responsible for the quantity for bid and installation. The contractor shall be responsible for the quantity on the plans takes precedence over the quantities shown on the drawings.
- The contractor shall be responsible for his own safety of the plantings as shown.
- The contractor shall be expected to visit the site prior to bid. The contractor shall have a full understanding of the site conditions prior to bid. No change of price shall be allowed after the bid is accepted by the client.

1947.3
DATE: 7/13/13
BY: MHC/MLC

Bridge Point Port 95

Dania Beach, FL

ISSUE

PROJECT

SCALE: 1" = 30'

FILE NO. 211920

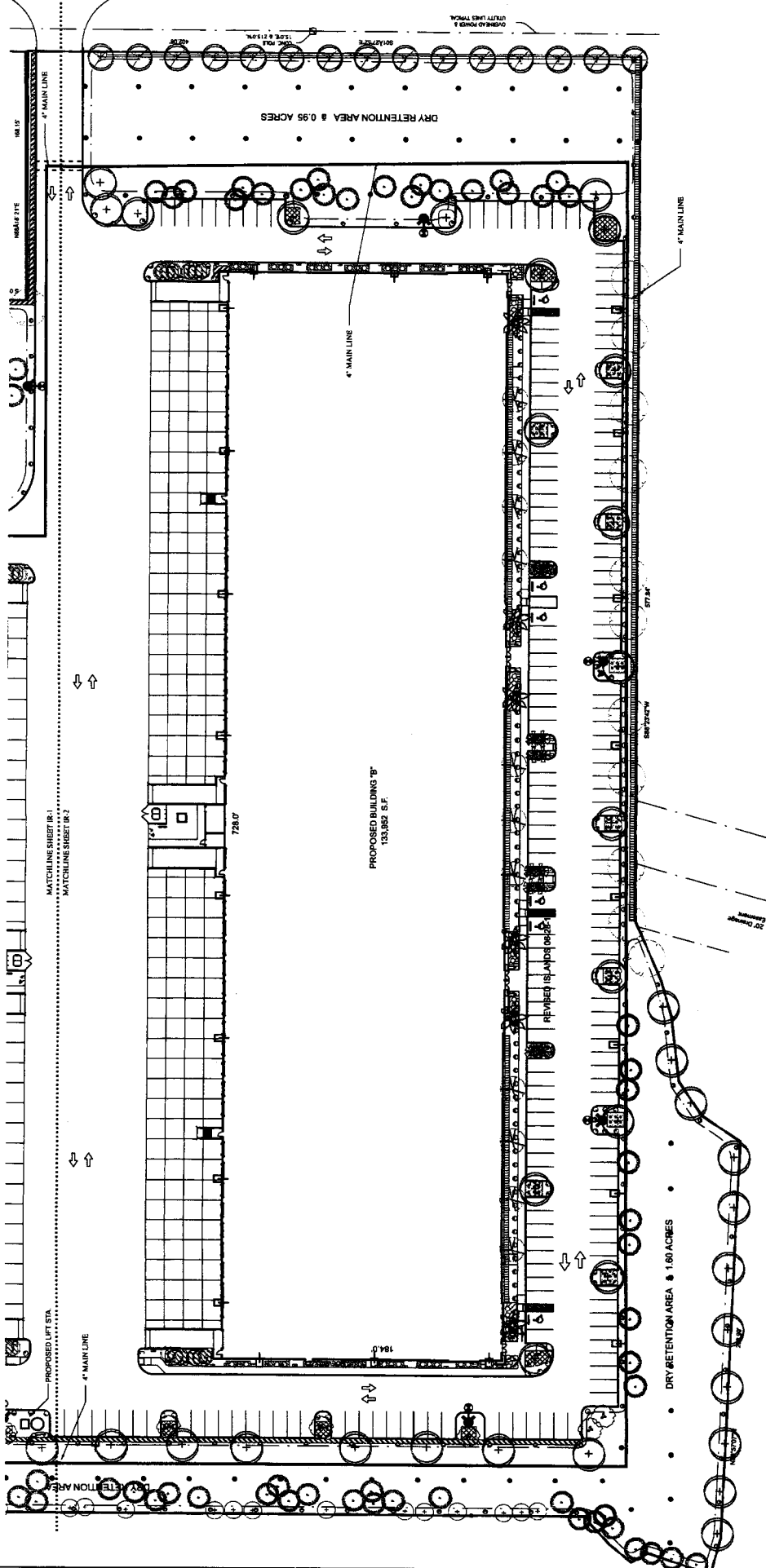
DESIGNER: 2-2113 SS

Irrigation Plan

60% Submission

James Spaulding
Landscape Architecture
1100 S.W. 15th Avenue, Ft. Lauderdale, FL 33304

NO.	DATE	DESCRIPTION
1	7-13-13	ISSUE FOR BIDDING
2	7-13-13	REVISED PER MHC/MLC



Bridge Point Port 95
 Dania Beach, FL

Irrigation Plan
 60% Submission

James Santiago
 Landscape Architect
 10000 SW 15th Ave, Suite 100
 Miami, FL 33185

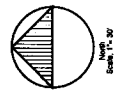
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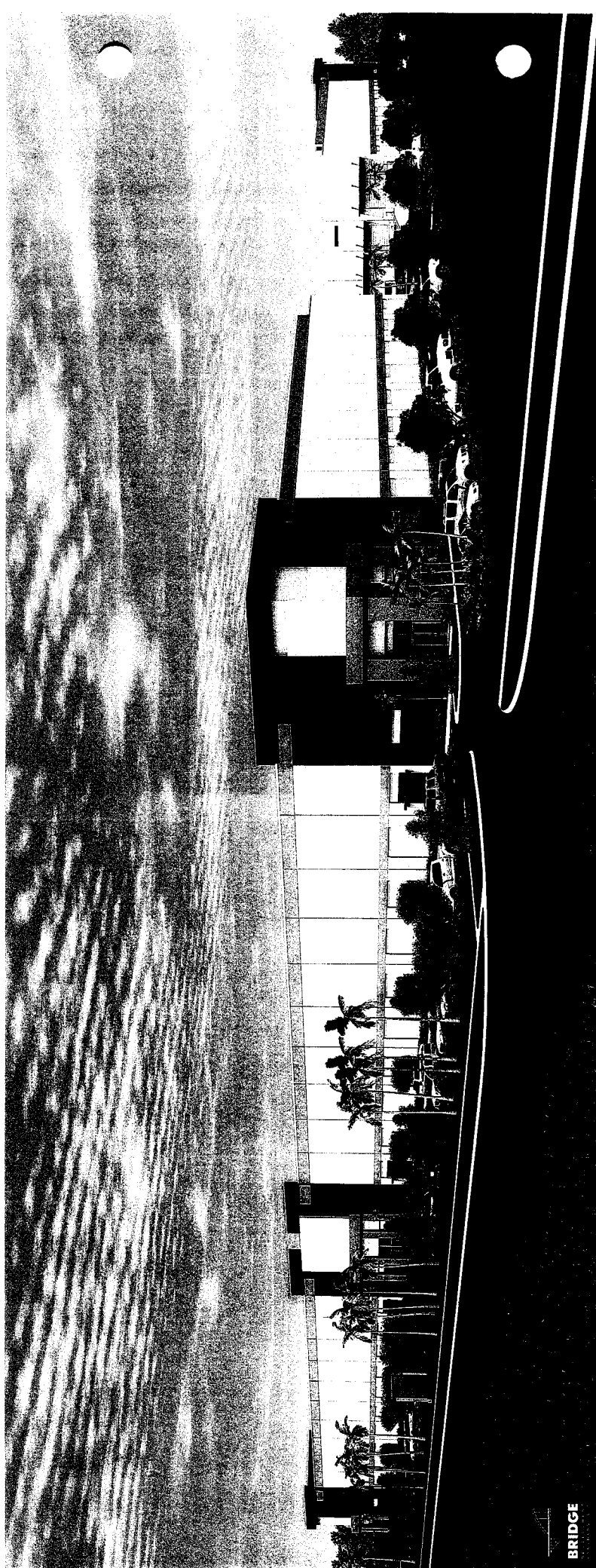
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1	7/11/13	MS	MS	MS





BRIDGE

**NOTICE OF PUBLIC HEARINGS
ON LAND DEVELOPMENT CODE AMENDMENTS
CITY OF DANIA BEACH, FLORIDA**

A Public Hearing will be conducted by the City of Dania Beach City Commission meeting on the following date:

DATE: Tuesday, September 10, 2013
TIME: 7:00 p.m. or as soon thereafter as the same may be heard
PLACE: City Commission Chambers
Dania Beach Administrative Center
100 West Dania Beach Blvd.
Dania Beach, FL 33004

- 1) **SP-64-07MOD:** The applicant, Bridge Development Partners, LLC., on behalf of the property owner Bridge Port 95 LLC., is requesting to modification to a previously approved site plan for property located at 2650 SW 36 Street.

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE REQUEST FOR MODIFICATIONS TO SITE PLAN SP-64-07, APPROVED ON JANUARY 8, 2008, SUBMITTED BY BRIDGE DEVELOPMENT PARTNERS, LLC., REPRESENTING THE PROPERTY OWNER BRIDGE PORT 95, LLC, FOR PROPERTY LOCATED AT 2650 SW 36 STREET, DANIA BEACH; PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

Legally described as: Property known as Lakeview Industrial, Park Plat as recorded in the plat records of Broward County, Plat Book 178, page 64B containing 15.490 acres more or less.

Copies of the proposed requests are available for viewing in the Community Development Department, 100 West Dania Beach Boulevard, Dania Beach, Florida, and may be inspected by the public during normal business hours. For more information please call the Planning Division at (954) 924-6805 x3643.

In accordance with the Americans With Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's office, 100 W. Dania Beach Blvd, Dania Beach, FL 33004, (954) 924-6800 x3623, at least 48 hours prior to the meeting.

Please be advised that if a person decides to appeal any decision made by Local Planning Agency, the Planning and Zoning Board or the City Commission with respect to any matter considered at this hearing, such person will need a verbatim record of the proceedings and for this purpose such person may need to ensure that a verbatim record of the proceedings is made,

which record includes the testimony and evidence upon which the appeal is to based. The city does not provide or prepare such record pursuant to f.s. 286.0105.

Community Development Department

Planning Division

Publish: Friday August 30, 2013